City of Verona

Plan Commission Meeting Agenda
Monday – July 6, 2020 – 6:30 P.M.
www.ci.verona.wi.us

Due to the COVID-19 pandemic, the Verona Plan Commission will hold its meeting as a virtual meeting. The Plan Commission will not meet at City Hall, 111 Lincoln Street. Members of the Plan Commission and Staff will join the meeting by using Zoom Webinar, as described immediately below.

Members of the public can join the meeting using Zoom Webinar via a computer, tablet, or smartphone, or by calling into the meeting using phones, as described immediately below. Those requiring toll-free options are asked to contact City Hall for details prior to the meeting at adam.sayre@ci.verona.wi.us or 608-848-9941.

Join the meeting via computer, tablet, or smart phone:
https://zoom.us/j/96330024198
Webinar ID: 963 3002 4198

Join the meeting via phone by dialing:
312-626-6799
Webinar ID: 963 3002 4198

Watch live on the City's YouTube Channel:
https://www.youtube.com/user/VeronaWIMeetings

The online meeting agenda and all support materials can be found at https://www.ci.verona.wi.us/. In addition to the public, all Plan Commission members and Staff will also be participating remotely. Anyone with questions prior to the meeting may contact the City at (608) 848-9941 or adam.sayre@ci.verona.wi.us.

PUBLIC SPEAKING INSTRUCTIONS

- WRITTEN COMMENTS: You can send comments to the Plan Commission on any matter, either on or not on the agenda, by emailing Katherine.Holt@ci.verona.wi.us or in writing to Plan Commission, 111 Lincoln Street., Verona, WI, 53593.
- For public comments, including comments during the public hearing, register and speak: Those wishing to speak during the virtual meeting MUST register by 6:30 PM in advance of the meeting start time by emailing adam.sayre@ci.verona.wi.us or calling 608-848-9941. You will be given information on how your speaking opportunity will be coordinated.

1. Call to Order
2. Roll Call
3. Approval of minutes from June 1, 2020 Plan Commission Meeting.
4. **Public Hearing** – Precise Implementation Plan (PIP) amendment for a Planned Unit Development (PUD) to change approximately 3,900 square feet of commercial space to three (3) live work units located at 142 Paoli Street.
   a. Discussion & Possible Action – Precise Implementation Plan (PIP) amendment for a Planned Unit Development (PUD) to change approximately 3,900 square feet of commercial space to three (3) live work units located at 142 Paoli Street.
5. Discussion & Possible Action – Site plan review for MilliporeSigma to allow for the construction of 68,000 square foot addition located at 1101 Kettle Moraine Trail.
6. Discussion & Possible Action – Planned Unit Development (PUD) concept plan review for a four (4)-story, 79-unit apartment building with 9,319 square feet of commercial located at 410 and 420 West Verona Avenue.
7. Discussion & Possible Action – Planned Unit Development (PUD) concept plan review for an approximately 161,050 square foot wholesale building and fuel facility with a maximum of 24 pumping locations in the southwest corner of CTH M and Thousand Oaks Trail in the Verona Technology Park.
8. Adjournment

Luke Diaz

Posted: Verona City Hall,
Verona Public Library,
Miller's Market
All agendas are posted on the City's website at: www.ci.verona.wi.us

Notice: If need an interpreter, materials in alternative formats, or other accommodation to access the meeting, please contact the City Clerk at 845-6495 at least 48-hours preceding the meeting. Every reasonable effort will be made to accommodate your request.

Notice is hereby given that a majority of the City Council may be present at the meeting of the Plan Commission to gather information about a subject over which they have decision-making responsibility.

This constitutes a meeting of the City Council pursuant to the State ex rel. Badke v. Greendale Village Board, 173Wis. 2d 553, 494 N.W. 2d 408 (1993) and must be noticed as such, although the City Council will not take any formal action at this meeting.

City of Verona
Minutes
Plan Commission
June 1, 2020

Due to the COVID-19 pandemic, the Verona Plan Commission held its meeting as a virtual meeting. The Plan Commission did not meet at City Hall, 111 Lincoln Street. Members of the Plan Commission and Staff joined the meeting by using Zoom Webinar. Members of the public were able to join the meeting using Zoom Webinar via a computer, tablet, or smartphone, or by calling into the meeting via phone.

1. **Call to Order:** Luke Diaz called the meeting to order at 6:33 p.m.
2. **Roll Call:** Luke Diaz, Mike Hankard, Steve Heinzen, Katie Kohl, Pat Lytle, Tyler Powers, and Beth Tucker Long were present. Also present: City Administrator Adam Sayre, Community Development Specialist Katherine Holt, and City Engineer Carla Fischer.
3. **Approval of minutes from May 4, 2020 Plan Commission meeting.**
   Motion by Kohl, seconded by Powers, to approve the minutes from the May 4, 2020 Plan Commission meetings. Motion carried 7-0. Sayre noted that the agenda mistakenly lists the last meeting date as May 2, 2020. The minutes in the packet are correctly dated.
4. **Discussion & Possible Action – Zoning Ordinance rewrite: Review of draft Article 3 – Establishment of Zoning Districts, Article 4 – Specific Districts, and Article 5 – Specific Use Standards for the Zoning and Sign Code rewrite.**
   Sayre introduced Jackie Wells, Houseal Lavigne Associates.

   Wells reviewed the proposed revisions to the zoning districts, planned unit developments (PUD), and the zoning map. These items define the district standards.

   Article 3 – Establishment of Zoning Districts:
   The proposal is to reduce the number of zoning districts in the City of Verona from 15 to 12 by eliminating the Community Residential (CR) District, the Neighborhood Commercial (NC) District, and the Urban Commercial (UC) District, as well as combining districts where appropriate.

   Article 4 – Specific Districts:
   It is being proposed that lot area minimums in the Neighborhood Residential (NR) District, Urban Residential (UR) District, and Suburban Commercial (SC) District be revised, and that lot widths in all districts be revised.

   Diaz asked what public benefit comes from a minimum lot size in a commercial area.

   Wells replied it helps to ensure enough land area is available to accommodate parking, landscaping, etc. as well as the building itself.

   Side yard and rear yard setbacks would be revised in the NR and UR Districts, and maximum setbacks would be added in the Central Commercial (CC) District.

   Regarding bulk and dimensional standards, the proposal eliminates the current building coverage with landscaping ratio, and replaces it with lot coverage standards. Lot coverage would include parking lots, driveways, decks, accessories, landscaping, etc., as well as the building.

Revisions were made in the district use categories to tighten up the definitions, break down some of the broad-use categories and modernize the defined uses.

Sayre pointed out that in the use matrix, an apartment/condominium building is considered a permanent use, while a complex is considered a conditional use.

General Retail uses are broken down by size. Other retail uses are Adult Uses, Outlot Retail, Pawn Shops and thrift stores.

Lytle asked how the Plan Commission or Common Council should indicate in the code that any retail use is prohibited.

Wells replied the use can be listed in the code, but be left blank, which will clearly indicate that the use is prohibited. The use can also be removed from the list at this time, but can be added if the use is permitted at a later date.

Lytle asked if Adult Use is permitted by right.

Wells replied it does have to be permitted somewhere in the City. It can be listed as a permitted use or a conditional use, but listing it as a conditional use can be very cumbersome, as the conditions have to be very detailed and specific. There are separation requirements for adult use, as well, that do not allow that use near a school, for instance.

Sayre stated it is a First Amendment issue. The City does not want any appearance of prohibiting the use, so it is cleaner to have it allowable by right.

Tucker Long asked if the same is true for General Retail over 50,000 square feet.

Wells replied General Retail categories do not have to be permitted by right. It is up to the City to determine whether it is permitted by right or is a conditional use.

Sayre stated it is challenging to deny a conditional use permit for these uses. If the City decides to make General Retail over 50,000 square feet a conditional use, there will have to be some very specific criteria tied directly back to the purpose.

Diaz, Powers, Kohl and Tucker Long expressed they would like the Check Cashing/Payday Loan Store category to be pulled from the Table 4-5(f) Service Uses list.

Lytle stated he would like a clear delineation between a massage parlor, which is listed as undesirable, versus a day spa-type business that also offers massages.

Tucker Long asked how flexible the categories will be as society and consumer interests change.

Wells replied the City is always able to make text amendments to the code as needed. The General Retail category is meant to capture those uses that the City may not be able to define at the moment.

Table 4-5(i) Lodging Uses lists only Bed and Breakfast and Hotel as uses in this category.

Lytle asked where an Airbnb fits into this category.

Wells replied short-term rentals like Airbnb are listed under Accessory Use.

Diaz asked if there are ways to restrict the use of a home as an Airbnb.

Wells replied Wisconsin has a specific limit on the number of days that a house can be rented as a short-term rental.

Sayre stated there are a couple of houses in the City that are rented full-time as Airbnbs. The City would have to determine how those houses would be grandfathered.

Lytle asked if there is a difference between Christmas Tree/Pumpkin Sales and someone selling sweet corn, and if the Farmers Market use could be a permitted use in the Public Institutional District.

Wells stated the category name can be changed to Seasonal Sales to include more items.

Wells, Sayre and Diaz stated that it would make sense for the Farmers Market use to be a permitted use in the Public Institutional District.

Diaz asked for the Christmas Tree/Pumpkin Sales category name to be changed to Seasonal Sales. As it stands, the Christmas Tree/Pumpkin Sales category includes a limited time period for sales, whereas the Farmers Market use could last through the entire season.

Tucker Long asked into what category fireworks sales would fall.

Wells replied fireworks sales could fall into the Seasonal Sales category. It can also be called out separately to be regulated more strictly, if the City chooses to do so.

<u>Article 5 – Specific Use Standards</u>
Wells explained the specific use standards for the following categories:

- Specific Agricultural Use Standards:
  - Community Garden
  - Solar Energy Collection, Farm
  - Urban Agriculture, Outdoor
- Specific Residential Use Standards:
  - Apartment/Condominium, Building
    Hankard questioned requiring parking in the back of the building, while at the same time requiring the main entrance to be at the front of the building off the sidewalk.

    Wells explained that though people most often enter their living quarters through the garage or the back door, having the main entrance facing the sidewalk at the front of the house creates a pedestrian friendly, neighborly environment. ADA accessibility can be accomplished at the secondary entrance from the parking lot at the rear of the building.

    Tucker Long stated she believes this requirement will create many special cases for the Plan Commission to address.

    Sayre suggested changing the standard that the main entrance to an apartment or condominium from “shall” face the primary street, to “should” face the primary street; change it from a requirement to an encouragement.
  - Apartment/Condominium, Complex
  - Cluster Mailbox
  - Community Living, all capacities
  - Duplex/Townhome, all units
  - Senior Housing, Dependent and Independent
  - Single Family, Detached
    Sayre explained the aesthetic standards for attached garages are a new requirement with this rewrite. They are meant to prevent the garage door from being the focal point of the front of the house.

    Tucker Long expressed concern that cutting down on the width of the garage will encourage people to build single-car garages.

Wells replied two-car garages will continue to be built, but builders will be encouraged to place the garages on the side of the building, rather than on the front of the building.

Holt stated when the City wants to encourage something, that item can be added to the neighborhood plan or the comprehensive plan rather than be part of the ordinances.

- Specific Institutional Use Standards:
  - Outdoor Public Recreation, Active
  - Public Service and Utilities
- Specific Retail Use Standards:
  - Adult Uses
  - General Retail, less than 10,000 sq. ft.
  - General Retail, 10,000 – 49,999 sq. ft.
  - General Retail, more than 50,000 sq. ft.
  - Outlot Retail
  - Pawn Shop
  - Thrift Store
- Specific Service Use Standards:
  - Corporate Campus
    Diaz asked what type of building material is considered "traditional". He sees Epic's corporate campus, utilizing quality building material that would not necessarily be considered "traditional"

    Wells replied for this purpose, "traditional" means time and weather tested.

    Sayre commented the ordinance verbiage will relate to materials used, not building design.

    Diaz prefers "time and weather tested" over "traditional".

    Tucker Long asked if this is an area where underground parking could be encouraged.

    Wells replied if the City is interested in encouraging underground parking, that may be another item that can be added to the comprehensive plan, rather than making it a requirement.
  - Commercial Animal Boarding
  - General Service, less than 10,000 sq. ft.
  - General Service, more than 10,000 sq.ft.
  - Personal Storage Facility
- Specific Eating and Drinking Use Standards
  - Coffee/Tea Shop
    Lytle asked what determines the difference between a coffee/tea shop and a fast casual restaurant.

    Wells replied it depends on the amount of food prepared on-site. Coffee/tea shops often bring in food that is prepared elsewhere.
- Specific Fitness Facility and Entertainment Use Standards
  - Fitness Facility/Entertainment Facility, less than 10,000 sq. ft.
  - Fitness Facility/Entertainment Facility, 10,000 – 49,999 sq. ft.

    - Fitness Facility/Entertainment Facility Indoor, more than 50,000 sq. ft.
    - Physical Health/Entertainment Facility Outdoor

- Specific Lodging Use Standards
    - Bed and Breakfast

- Specific Vehicle Related Use Standards
    - Fuel Sales
      Tucker Long asked if the City can enter into a vacant building agreement with gas stations requiring remediation of any soil contamination upon vacation of the premises.

      Sayre replied the newer stations don't generally have soil contamination issues. It is difficult to put vacant building agreements in place. The City could possibly put tighter restrictions on where a gas station would go, or if it should be allowed in the City at all. We could look at the City's wellhead protection ordinance for applicability.

- Specific Industrial Use Standards
    - Artisan Manufacturing
    - Communication Tower
    - Composting Operation
    - Distribution Center
    - Light Industrial

- Specific Transportation Use Standards
    - Airport/Heliport

- Specific Accessory Use Standards
    - Accessory Building
    - Accessory Dwelling Unit
    - Accessory Structure
    - Company Provided On-Site Recreation
    - Drive Through
      Lytle asked if the changes to the drive through use standards will give the City the flexibility it has been looking for regarding drive through requirements.

      Sayre replied it will solve most of the issues the City has been having in this area.

      Wells stated the stacking lane requirements are based on the type of drive through and demand. These are minimum requirements.

    - Home Occupation
      Tucker Long asked if local delivery is allowed in this category, if the items are not sold online.

      Wells replied limiting home occupations to online sales limits excess traffic generated by having a home occupation. The home occupation should be subordinate to the primary use of the property as a residence.

      Tucker Long would like to see phone sales permitted, as well.

      Holt stated the occupation should blend into the neighborhood. Phone sales could be added.

      Lytle believes home occupation could be expanded, as long as excess traffic is not generated.

- Indoor Sales Incidental to Light Industrial Use
- Light Industrial Incidental to Indoor Sales
- On-Site Agricultural Retail
- Outdoor Activity/Operation, Permanent
  Lytle asked if a tennis or basketball court in a public park would fall under this category.

  Wells replied this category is meant to address mainly commercial or industrial uses that might have outdoor activities

- Outdoor Dining, without alcohol
- Outdoor Dining, with alcohol
- Outdoor Display of Merchandise, Permanent
- Outdoor Storage, Permanent
- Solar Energy Collection System, Canopy
- Solar Energy Collection System, Ground Mounted
- Solar Energy Collection System, Roof Mounted
- Urban Garden
  Tucker Long asked if urban gardens can be located in residential areas, as well.

  Wells replied yes, with certain limitations.

  Tucker Long believes the four-foot height requirement may be too restrictive. Tomatoes, for example, are generally over four feet high.

  Wells replied there would be no problem with plants over four feet high, as long as they are planted in the rear or side yard in residential areas.

  Diaz asked if a raised bed would count as a structure.

  Wells replied structures would not include raised beds.

  Diaz has some concerns about the four-foot limitation.

  Wells replied the limitation is primarily for safety reasons

  Tucker Long asked if the same limitation applies to bushes, as well.

  Lytle suggested revising the language.

  Tucker Long asked if there are such limitations in place currently.

  Sayre replied there are vision triangles in place for corner lots. Arbor vitae and similar plantings are used as fences from time to time. This is an item that Staff can discuss and possibly revise.

- Specific Temporary Use Standards
  - Christmas Tree/Pumpkin Sales
    This category has been revised to “Seasonal Sales”.
  - Outdoor Assembly
  - Outdoor Display of Merchandise, Temporary
  - Portable Outdoor Storage Device
  - Short Term Rental

5. <u>Adjournment</u>

Motion by Tucker Long, seconded by Heinzen, to adjourn. Motion carried 7-0. The meeting was adjourned at 8:54 p.m.

Planning Report

City of Verona

Plan Commission 7-6-2020

Velocity

Planned Unit Development – Precise Implementation Plan Amendment

Summary: The applicant has submitted a request for a planned unit development (PUD) precise implementation plan (PIP) amendment. The applicant is proposing to remove 3,005 square feet of commercial space and replace it with three (3) live-work units at 142 Paoli Street.

Property Location: 142 Paoli Street

Property Owner: Velocity Mixed Use LLC
Kyle Dumbleton, Architect
510 W. Edgewater St.
Portage, WI 53901

Applicant: Same

Existing Zoning: Urban Residential (UR) with PUD overlay
Existing Land Use: Mixed-use – Commercial and Apartments
Proposed Land Use: Apartments and live-work units

Location Map

Background:

The Applicant is requesting a Planned Unit Development (PUD) Precise Implementation Plan (PIP) amendment for 142 Paoli Street ("Property") to change 3,005 square feet of commercial space to three (3) live-work units. A live-work unit contains an office or commercial area that is separate from the living quarters of the residence.

In 2013, the City approved plans for a PUD on this property that would have contained a single building with a first floor 4,660 square foot restaurant and 24-apartment units. As part of the 2013 PUD, the City rezoned the property from Urban Industrial (UI) to Urban Residential (UR). The 2013 project did not move forward.

In December of 2015, a developer proposed a PUD for the property that would have allowed for the construction of a 36-unit apartment building, and a 3,700 square foot commercial building. The Common Council denied the 2015 project due to concerns about density, the project not being a true mixed-use development, and due to public opposition to the project.

In 2016, the developer proposed a PUD for the property containing 29-apartment units and 3,900 square feet of commercial space. The General Development Plan (GDP) was approved in June with the following condition:

1. Any internally illuminated signs or any other signs with internally illumination or indirect light from the back of the letters or sign shall not produce any glare. Internally illuminated signs displaying illuminated copy shall be designed in such a way so that when illuminated, the sign appears to have light colored copy on a dark or non-illuminated background.
2. The businesses located within the commercial portion of the building shall operate between the hours of 6:00 a.m. and 10:00 p.m.
3. The commercial land uses shall conform to the allowable uses of the Neighborhood Commercial (NC) zoning district.

In September of 2016, the PIP was approved with the following conditions:

1. Prior to the issuance of building permits, the Director of Planning and Development shall approve a revised landscaping plan.
2. Prior to the issuance of building permits, the City Engineer shall review and approve the stormwater management plan.

In February of 2020, Verona Area School District (VASD) applied for a certified survey map to dedicate additional right-of-way from the Property to be used for the new high school transportation improvements, which was approved. These public improvements are currently under construction.

Planned Unit Development Process:

The intent of a planned development is to provide incentives for infill development and redevelopment in areas of the community that are experiencing a lack of significant

reinvestment. Further, PUD's are designed to forward both the aesthetic and economic development objectives of the City by controlling the site design and appearance, density, or intensity of development in terms of more flexible requirements for land uses, density, intensity, bulk, landscaping, and parking requirements. In exchange for such flexibility, PUD's shall provide a much higher level of site design, architectural control, and other aspects of aesthetic and functional excellence than normally required for other developments. The planned development process is a four (4) step process:

- *Step 1 – Pre-Application Conference:* The applicant discusses the project with Staff prior to moving on to the Plan Commission. Staff provides the applicant with initial comments on the plan.
- *Step 2 – Concept Plan:* General concept plans (bubble plans) are submitted for the Plan Commission and Common Council review with no action. The Plan Commission and Common Council provide feedback on the plans.
- *Step 3 – General Development Plan (GDP):* The intent of the GDP is provide general, but more detailed than the concept plan, about the proposed development. A public hearing is held before the Plan Commission. The City notifies all properties, with a letter, that are located within 200-feet of the property that is requesting the GDP. The Plan Commission makes a recommendation to the Common Council. If the GDP is approved, this step provides the zoning entitlements to the project.
- *Step 4 – Precise Implementation Plan (PIP):* The final step in the PUD process is the final approval of all plans including site plan, landscaping, stormwater, photometric plans, building design, etc. A public hearing is held before the Plan Commission. The City notifies all properties, with a letter, that are located within 200-feet of the property that is requesting the PIP. The Plan Commission makes a recommendation to the Common Council. If the PIP is approved, the applicant can proceed to obtain building permits and start construction of the project.

The VeloCity mixed-use development is requesting approval of Step 4, PIP, of the PUD process. Notifications of the public hearing were mailed to properties within 200-feet of the Property.

Planning Review:

The Applicant is purposing to change the land use and interior design of the commercial area of the existing building. The building meets all of the bulk requirements as the footprint of the building will remain the same. The building has met the landscaping requirements and the stormwater management requirements.

Parking:
The Applicant was approved for 70 parking stalls, including 35 surface stalls and 35 underground stalls. The Zoning Ordinance requires a minimum of 50-parking spaces for the apartment land use and a minimum of 13-spaces are required for the planned commercial area of 3,005 square feet and the potential 615 square foot expanded commercial area. With the proposed removal of the 3,005 square feet of commercial,

the parking still meets the minimum requirements of the Zoning Ordinance and allows for clients of the live-work units to have parking.

Design:
The exterior of the building is built minus the 615 square feet of expanded commercial area depicted in Figure 2 in the lower left portion of the building. Access to the live-work units will be along the originally planned access point shown with the railing by the orange portion of the building. Two of the offices are located close to the entrance of the current commercial area with the last office access down a corridor that could be used as a gallery for an artist. The floor plan depicts separate office entrances and residence entrances on the corridor. Staff has no concerns with the design of the live-work units.

Figure 2 – Existing building facing South Nine Mound Road with the trail to the left of the building.

Comprehensive Plan:
The Verona Comprehensive Plan encourages “in-fill development” and “new development and redevelopment in the Downtown area”. The proposed project is located on the western edge of the Downtown area and is consistent with the City’s goals to create a vibrant Downtown. Staff believes long-term, this property is appropriate for multi-family uses as it is on the bike trial, located in close proximity to Downtown, and will assist to creating a critical mass of people to help make the Downtown area a more attractive area for redevelopment. The live-work units will give the City additional types of housing that is currently missing. The proposed development is consistent with the City’s Comprehensive Plan.

Uses:
The GDP for this project required the commercial hours of operation to be limited to 6:00 am to 10:00 pm. Further, commercial uses are restricted to the uses permitted in the Neighborhood Commercial (NC) Zoning district. Staff recommends that the commercial component of the live-work units have office hours that were approved for the GDP.

Historical, in other communities, live-work units have been challenging to fill because the commercial interest has been limited and typically the units become another apartment unit with no commercial. However, COVID-19 may have changed the live-work environment as many employees continue to work from home and some may permanently work from home. Further, the Applicant has struggled to fill the commercial space. The new high school, and traffic patterns, will most likely change the commercial demand and future land uses in this area of the City. However, Staff believes a small scale live-work area may be successful and could provide a balance with the surrounding land uses in the area.

Recommendation:

Staff recommends the Plan Commission recommend that the Common Council approve the Precise Implementation Plan amendment for the removal of 3,005 square feet of commercial and replace with three (3) live-work units at 142 Paoli Street with the following conditions:

1. The businesses located within the live-work units shall operate between the hours of 6:00 a.m. and 10:00 p.m. for external customers.
2. The businesses located within the live-work units shall conform to the allowable uses of the Neighborhood Commercial (NC) zoning district.

Prepared by: Katherine Holt KH
Community Development Specialist

Submitted by: Adam Sayre, AICP AS
City Administrator

VELOCITY

June 8, 2020

To: Verona Plan Commission

From: Velocity Mixed Use, LLC ownership group
Kyle Dumbleton, Managing Member and Architect

Re: Precise Implementation Plan (PIP) amendment to change commercial space To Live-Work units.

History
The project was designed and programmed from 2015-2018 as a mixed-use project that would provide several small commercial spaces on the ground level of a mixed-use project in a transitional area of Verona.

The conditions at the time indicated that there could be a demand for these types of spaces at this location. As the project came on line, and with the seismic change in market conditions since the COVID-19 pandemic, the market is moving away from this type of space.

There is continued uncertainty that the commercial spaces as originally designed will find a suitable tenant given the long-term uncertainties.

We are concerned that this space will remain vacant during this market disruption while other opportunities to use the space in a modified manner are present.

Conditions/Demands

The demand for housing at this project has exceeded available units and the project has been at 100% occupancy since closing with 90% renewals and continued strong interest in the residential component of the Project.

In identifying these issues, we believe a minor modification to the approved PIP will create a solution that conveys the intent of the original uses while also creating more opportunities for residents at the building.

We are seeing a large increase in work from home tenants and are proposing the modification of the three commercial spaces to three Live/Work units, which contain separate offices and Living Quarters.

Impact on previously approved PIP:

-Interior alterations only, no changes to building footprint, exterior appearance, or site.

-No impact on required and provided Parking stalls

-No impact on required open space

-Intend to keep small commercial area accessible from the bike trail level

Request:

We are requesting an approval of a minor alteration to the previously approved PIP based to allow for a change from 3 commercial spaces to 3 live/work units.

Sincerely yours,

Kyle Dumbleton

Kyle Dumbleton, Managing Member and Architect
Velocity Mixed Use, LLC ownership group

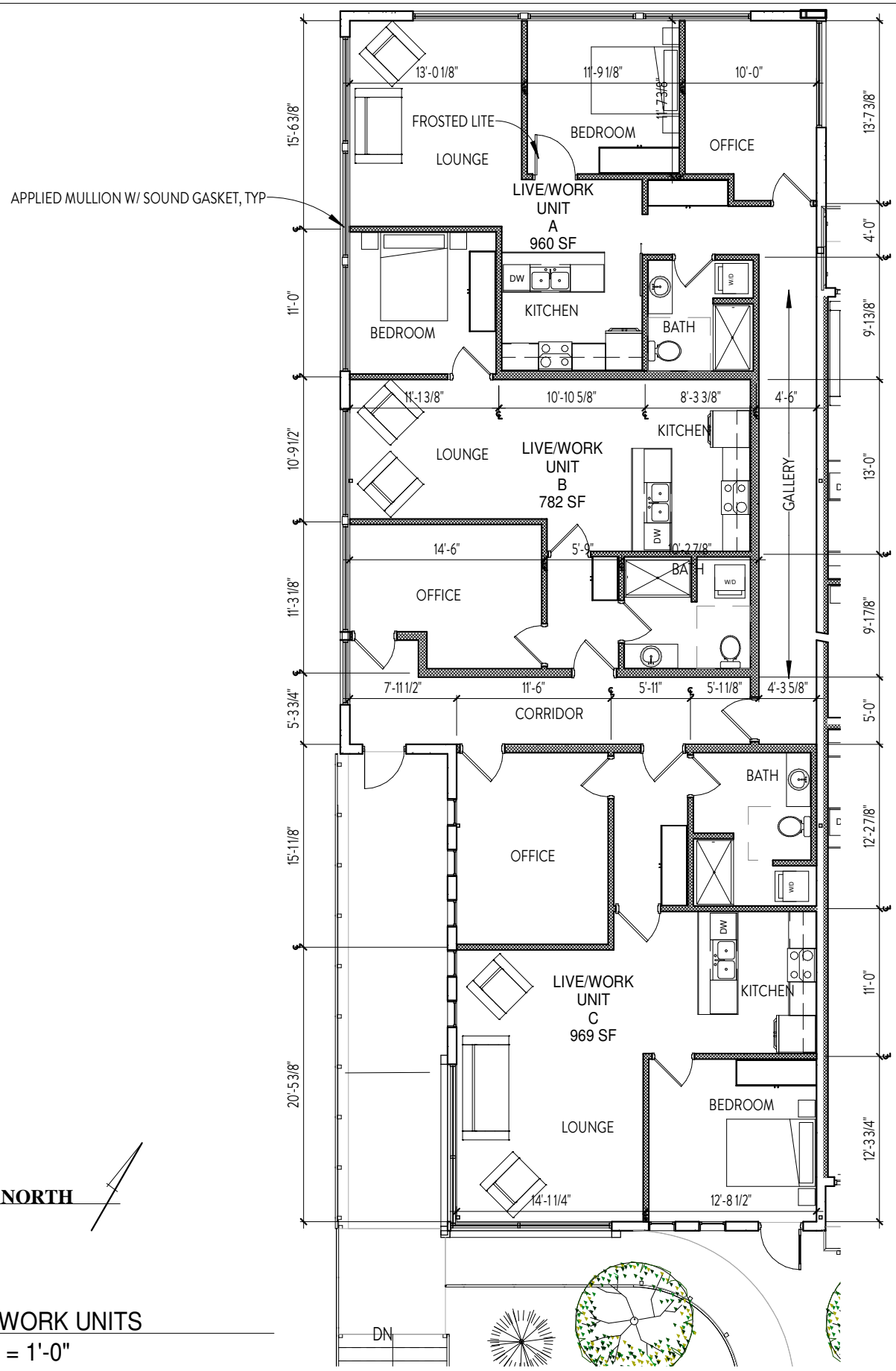
510 WEST EDGEWATER ST. PORTAGE, WI, 53901 > P. 608-445-7869
WWW.MIDWESTMODERN.COM > INFO@MIDWESTMODERN.COM
MIDWESTMODERN LLC

VELOCITY MIXED USE
142 PAOLI STREET, VERONA, WISCONSIN, 53593 Approver

OVERALL SITE PLAN

Project number	17 -01
Date	06.08.2020
Scale	3/32" = 1'-0"

CM2.0



1 LIVE-WORK UNITS
3/32" = 1'-0"

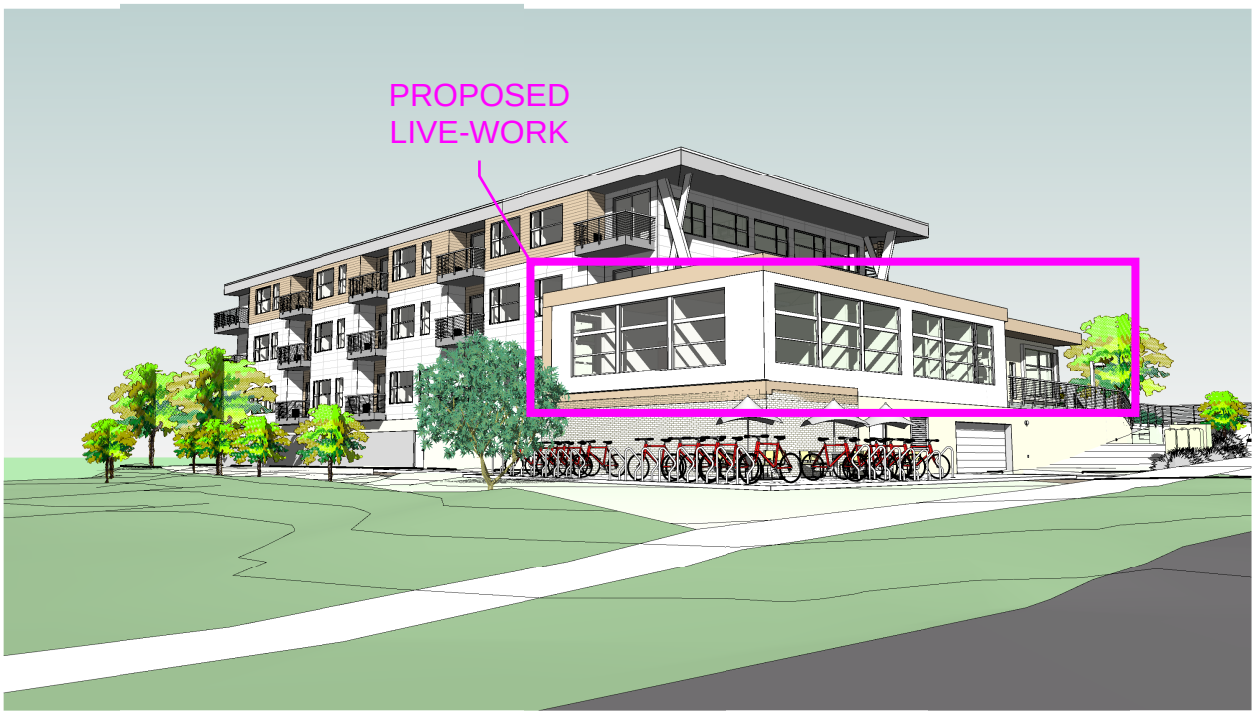
510 WEST EDGEWATER ST. PORTAGE, WI, 53901 > P. 608-445-7869
WWW.MIDWESTMODERN.COM > INFO@MIDWESTMODERN.COM
MIDWESTMODERN LLC

VELOCITY MIXED USE
142 PAOLI STREET, VERONA, WISCONSIN, 53593 Approver

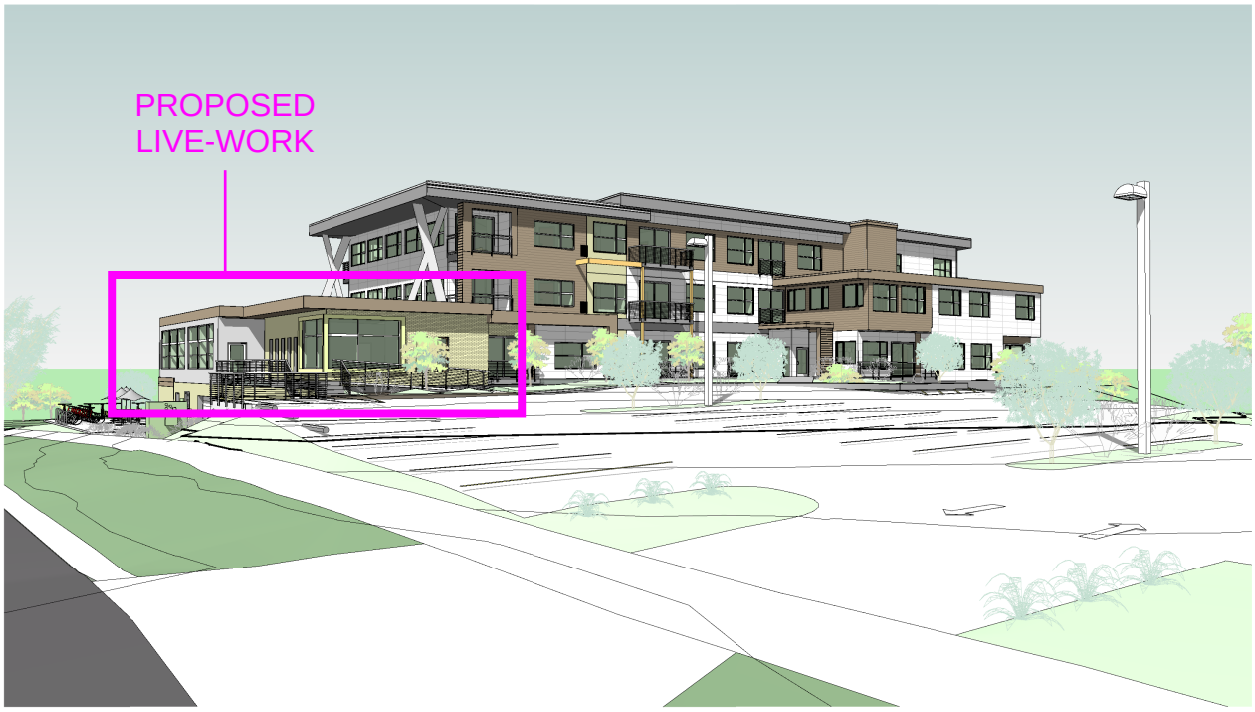
COMMERCIAL CONVERSION

Project number	17-01
Date	06.08.2020
Scale	3/32" = 1'-0"

CM2.1



1 A-BIKE PATH AT S. 9 MOUNDS



2 B-NINE MOUND TO BIKE PATH

510 WEST EDGEWATER ST. PORTAGE, WI, 53901 > P. 608-445-7869
WWW.MIDWESTMODERN.COM > INFO@MIDWESTMODERN.COM
MIDWESTMODERN LLC

VELOCITY MIXED USE
142 PAOLI STREET, VERONA,
WISCONSIN, 53593 Approver

PERSPECTIVE VIEWS

Project number	17-01
Date	06.08.2020
Scale	3/32" = 1'-0"

CM2.2

Planning Report

City of Verona

Plan Commission 7-6-2020

1101 Kettle Moraine Trail

Site Plan Review

Summary: The Applicant has submitted a request for a site plan review to construct an approximately 68,000 square foot addition at 1101 Kettle Moraine Trail. The proposed building additions will allow for MilliporeSigma to grow at this location.

Property Location: 1101 Kettle Moraine Trail

Property Owner: MilliporeSigma
Hani El Kassas
1101 Kettle Moraine Trail
Verona, WI 53593

Applicant: Same

Existing Zoning: Suburban Industrial (SI)
Proposed Land Use: Building Addition

Figure 1: Location Map

Site Description:

The Applicant is requesting a site plan review ("Application") to construct a 68,000 square foot addition located at 1101 Kettle Moraine Trail ("Property") as depicted in red in Figure 1 in the Verona Technology Park, which is zoned Suburban Industrial. The Property currently contains the original building and previous additions to MilliporeSigma. This addition will be located southeast of the existing building. Land uses surrounding the Property include industrial, businesses, and vacant land that is wooded or farmland. The Applicant is expecting to begin construction the first week of August of 2020.

This is a site plan review with a decision solely determined by the Plan Commission.

Background:

In 2008, the City approved the site plans for the construction of a 45,000 square foot pharmaceutical manufacturing plant for Sigma-Aldrich (SAFC). As part of the site plan review process, the City required SAFC to master plan the site which showed future expansion of the building and the construction of two (2) additional buildings to the east. The proposed building additions are consistent with the master plan for the property submitted in 2008.

In 2013, the City approved a 13,510 square foot warehouse addition and a 2,320 square foot building addition. No new parking spaces were approved with this addition and the applicant exceeded the landscaping point requirement by eighty (80) points.

Southeast Neighborhood Plan:

The Property is located in the Southeast Neighborhood Plan ("Plan"), which was adopted in 2010. The Property and others are discussed on page 20 of the Plan. The Application conforms to the recommendations of the Plan.

- "The City plans to utilize this area for creating jobs and employment opportunities for Verona residents with office, corporate headquarter, light manufacturing, warehousing, educational, and similar business park-type developments;"
- "The City will require a minimum of 25% landscaping areas/open space for developments within this Business Park sub-area – consistent with the City's 'Suburban Office' and 'Suburban Industrial' zoning district requirements;"
- "Land-uses further east—farther away from Highway 18-151—are planned to include a mix of office, warehouse, distribution, educational and light industrial land-uses. Due to the large roof-areas typical of such developments, all of these land-uses present excellent opportunities for successfully treating storm water on-site and improving water-quality in the Badger Mill Creek and Sugar River as compared with the current unregulated agricultural land-uses;"

- "High-quality architecture and building design will be required for development within this area—but especially along Highway 18-151, given the higher visibility parcels will have along Highway 18-151. The Plan Commission will serve as the architectural review and approval board for any proposed development within this area;"

The Applicant is proposing a 68,000 square foot addition to the existing building. The Applicant is coordinating with the City Engineer regarding stormwater management. The landscaping and architecture will be discussed later in this report.

Planning Review:

Bulk Requirements:

Setback/Code Requirements	Proposed (ft)	Code (ft)	Compliance
Front (north)	140'	25'	Yes
Rear (south)	140'	20'	Yes
Side (east)	420'	10'	Yes
Side (west)	387'	10'	Yes
Building Height	45' (2-story)	45'	Yes

Access:

The two (2) existing access points from Kettle Moraine Trail will remain unchanged. An additional access point will be added from the cul-de-sac of Kettle Moraine Trail as depicted in Figure 2.

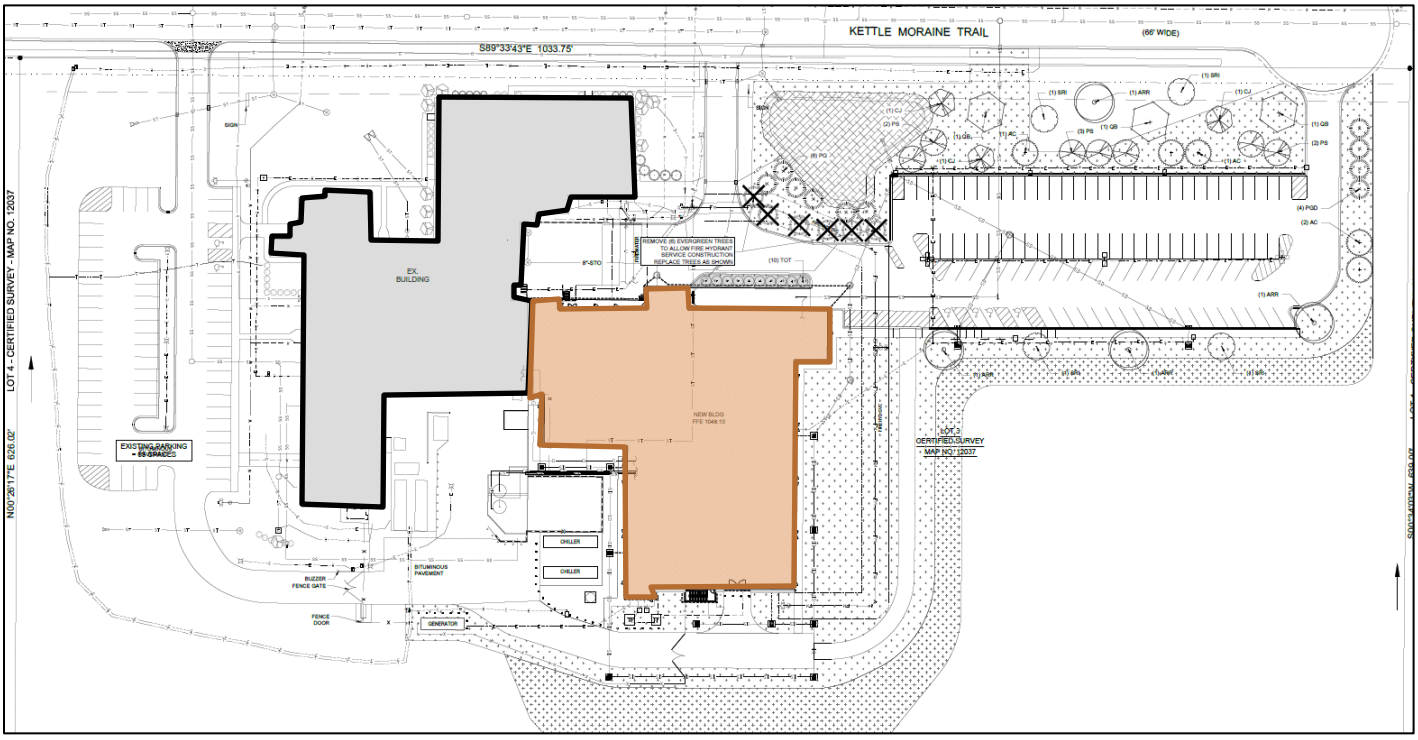


Figure 2 - Existing building in gray and proposed addition in orange

Parking:

The Property currently has sixty-three (63) parking spaces. As part of this addition, one hundred (100) additional parking spaces are proposed. The number of parking spaces will be sufficient to support the parking demands on the Property. If parking were to ever become an issue, additional parking expansion areas are available on the Property. Staff has no concerns with the parking.

Architecture:

The proposed building materials are consistent with the existing building. The proposed materials for this project include brick and metal panels to match the existing facility. A band of windows will be constructed at the top to provide day lighting and to break up the appearance.

Staff has no concerns with the proposed materials and the design of the building. While the addition can be viewed from the street, the building is located at the back of the industrial park and the architecture is appropriate in this location.

Figure 3 - Building rendering

Lighting:

A photometric plan was submitted as part of the Application. The Applicant will utilize nine (9) with full cut-off LED fixtures with a height of twenty-three (23) feet above the pavement throughout the parking area of the addition, which will match the existing lighting on site. The Applicant will install five (5) bollard lights by the unloading zone in the parking area. All lightings are within the acceptable range for the Property and does not affect the neighboring properties as it does not exceed 0.4 footcandles at the property lines.

Landscaping:

The Applicant is proposing a variety of plantings between Kettle Moraine Trail and the parking area. Six (6) trees are being removed to allow fire hydrant service construction, but are being replaced with six (6) trees to the north of the removed trees. Evergreens will align the entrance from Kettle Moraine Trail cul-de-sac shielding the neighboring vacant property. The Applicant has provided 1,440 landscaping points, which exceeds the 1,209 minimum landscaping point requirements for the building addition. Staff has no concerns with the landscaping plan.

Drainage/Stormwater:

Detailed stormwater and erosion control plans are under review by the City Engineer. Staff has no concerns at this time.

Recommendation:

Staff recommends the Plan Commission waive the initial review for the proposed building addition and approve the site plans for MilliporeSigma located at 1101 Kettle Moraine Trail.

Prepared by: Katherine Holt KH
Community Development Specialist

Submitted by: Adam Sayre, AICP AS
City Administrator

Millipore Sigma

HPAPI Expansion Project

Verona, Wisconsin

Project Scope

The project scope is an addition to the Millipore Sigma facility located at 1101 Kettle Moraine Trail, Verona, WI 53593. The facility current produces Active Pharmaceutical Ingredients (API). This site includes spaces for administration, manufacturing, quality control lab, office space, locker room, break room, and material handling rooms.

The expansion will provide the capability to produce Highly Potent Active Pharmaceutical Ingredients (HPAPI). The manufacturing capacity expansion will include the addition of six Kilo labs designed for an OEL <1ng/m3. The expansion will also house storage rooms, dispensing, Quality Control Lab, office space, locker rooms, break room, and records retention room.

System Description

The HPAPI Expansion Project consists of a two-level facility. The following is a description of some of the features of the new facility:

A. To provide access to the building from the new employee parking area on the northeast side of the site, a two-story entry area has been incorporated in the northeast side of the complex. This entry will include a Lobby, an MRL (machine room-less) Elevator, and stairs for access/egress of the Second Level. From the Lobby area the employees will have direct access to the Restrooms and Locker Rooms.

B. Located on Level 1 are the Kilo Labs, PPE staging, Clean Equipment Storage, the new location for the Waste Dock, Hazardous Waste Storage, the new location for Dispensing, and other support facilities. This level also contains the QC Lab, various Category Labs, and future accommodations for the Nuclear Magnetic Resonance

(NMR) system. On this level in the existing facilities are three main areas where renovation is planned for repurposing the spaces after the existing functions have been relocated to the new facility. There is a description of the renovations in the section identifying Repurposing of Existing Facilities.

C. The new facilities included on Level 2 are a Break Room and two large Conference Rooms. New Offices, High Density Storage, IT Room, Control Room, Rest Rooms, and support rooms are also included on this level. There are major Mechanical and Electrical rooms on this level. On Level 2, in the existing building, renovation of one area is described further in this section.

For continuity of the building exterior, the exterior architectural systems; exterior wall of brick and insulated metal panel, glazing, and roof systems shall match the existing building exterior materials. Specific products and systems will be based on the original construction materials and systems.

The interior architectural systems; floors, walls, ceilings, doors and windows, for the expansion shall match the existing applicable process and lab areas, general spaces such as offices, conference areas, break areas, and utility areas.

Federal, State and Local Codes

The expansion project will be reviewed under the State of Wisconsin current Building Code which is the State adopted version of the 2015 International Building Code with State of Wisconsin Amendments. The Amendments include the State of Wisconsin Administrative Chapters SPS 361 through Chapter SPS 366.

City of Verona Parking Requirements

The current City of Verona Parking requirements for the existing building uses are abbreviated below. Refer to City of Verona Ordinance Sec. 13-1-244 for more detail on parking requirements.

Site Parking

There are two options available to develop the required number of parking spaces. One option is to use prescribed parking ratios defined in the City of Verona Ordinances or provide number of spaces for peak headcount based on number of employees and contract employees.

Millipore Sigma has advised that the final design should account for an additional 100 spaces beyond the existing parking count. The current design includes:

- 63 Existing Spaces
- Additional 100 spaces +/-
- New Site Total = 163 spaces+/-

Fire Protection and Fire Water Containment

The building will be full sprinklered. The records retention room will have an FM 200 system to preserve the integrity of the records in the event of fire. All rooms containing solvents will have drains to allow fire water to contained in the existing fire water containment structure. These include the cold storage room, dispensing, hazardous waste storage and the kilo labs.

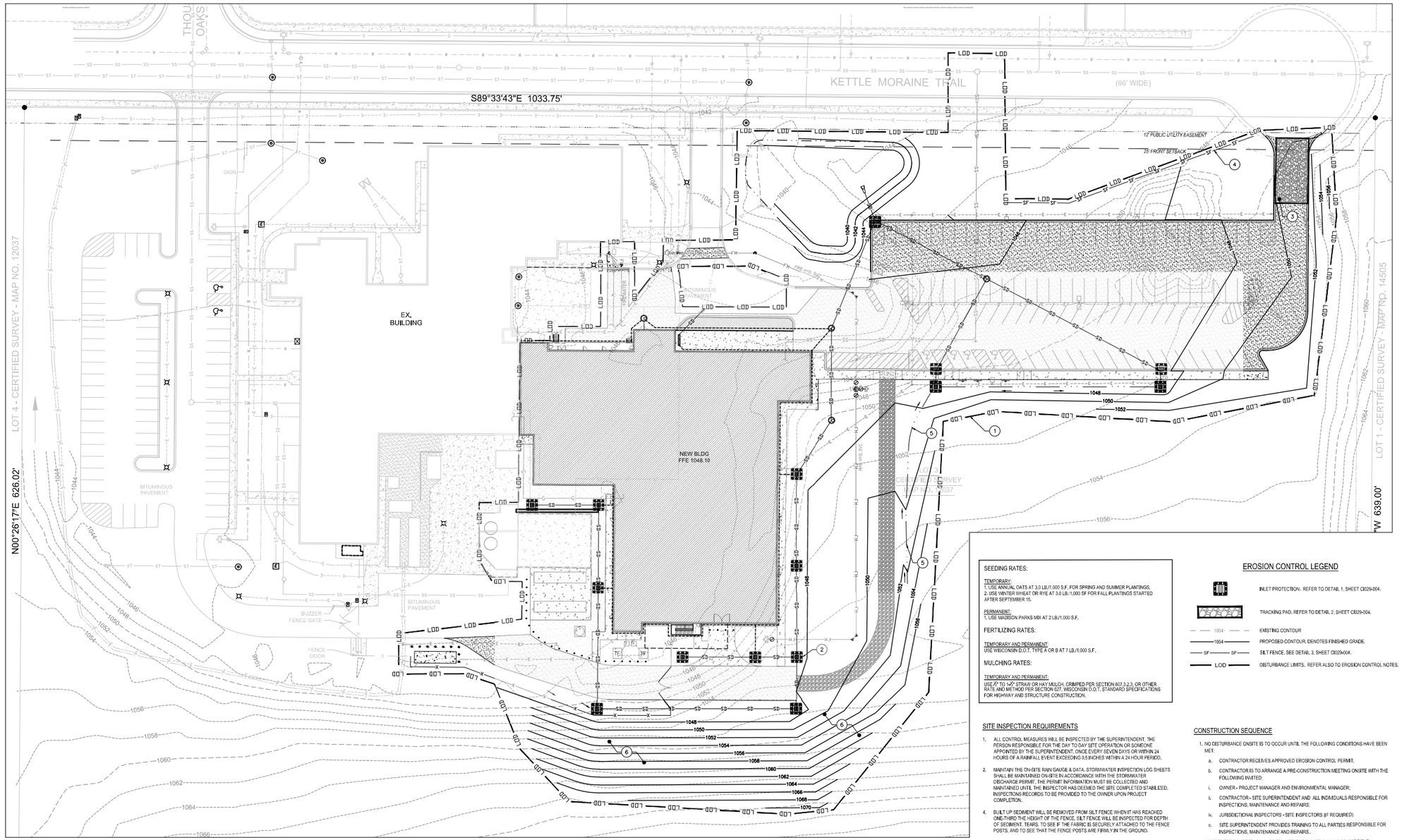
Back Up Power and Uninterruptable Power Systems (UPS)

A new 2500KVA back up generator will be installed to support critical systems in the facility. UPS systems will be provided to support controls, networks and other devices that cannot tolerate power interruptions.

Waste and Air Emissions

The site has a zero discharge waste permit. All materials from the production process will be collected and shipped off site for waste disposal. There are no connections to the sanitary waste system in any of the production areas.

The air systems are being designed to contain highly toxic materials. The materials will be handled in "isolators". Ventilation from the isolators and manufacturing space will be double HEPA filtered.



EROSION CONTROL PLAN KEYNOTES

1. LIMITS OF DISTURBANCE - (TYP.)
2. INLET PROTECTION & STORM INLET FILTER (TYP.), REFER TO DETAILS 1 & 4, SHEET 17FFVI01-CI029-004.
3. TRACKING PAD, REFER TO DETAIL 2, SHEET 17FFVI01-CI029-004.
4. SILT FENCE (TYP.), REFER TO DETAIL 3, SHEET 17FFVI01-CI029-004.
5. CHANNEL EROSION MAT (DITCHLINER) FOR ENTIRE LENGTH OF SWALE
6. NON-CHANNEL EROSION MAT FOR ENTIRE SLOPE OF HILL WHERE GRADING OCCURS

STABILIZATION TIMEFRAMES

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 19' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HQW ZONES

EROSION CONTROL NOTES

1. DISTURBED AREA = 4.75 ACRES+/-.
2. CONTRACTOR SHALL LIMIT UTILITY AND STORM DRAIN TRENCHING TO THE MINIMUM REQUIRED FOR EACH DAY'S UTILITY INSTALLATION.
3. ALL DEWATER SHALL BE PERFORMED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD "DEWATERING (1061)".
4. ALL SEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD "SEEDING (1059)".
5. ALL ROADS/DRIVES SHALL BE KEPT FREE OF SOIL TRACKING. ANY SOIL TRACKED ONTO PAVED AREAS SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
6. BASED ON SITE GEOTECHNICAL INVESTIGATIONS, GROUNDWATER LEVELS ARE ANTICIPATED TO BE WELL BELOW PLANNED EXCAVATION DEPTHS. ANY INCIDENTAL TRENCH DEWATERING FOLLOWING RAINFALL SHALL BE DISCHARGED TO AN APPROVED DEVICE. REFER TO DEWATERING PLAN THIS SHEET.
7. PROTECT ANY OPEN STORM DRAIN PIPE ENDS WITH PLYWOOD AND GRAVEL AT THE END OF EACH DAY AND PRIOR TO ANY RAINFALL EVENTS.
8. REFER TO GRADING AND DRAINAGE PLAN FOR STORM DRAIN DESIGN INFORMATION.
9. REFER TO THE STORMWATER AND EROSION CONTROL CALCULATIONS REPORT FOR MORE DETAIL ON WATERSHED SIZES, IF APPLICABLE.
10. REFER TO THE STORMWATER AND EROSION CONTROL CALCULATIONS REPORT FOR SOIL LOSS RATE CALCULATIONS, IF APPLICABLE.
11. SITE EROSION CONTROL SHALL BE COMPLIANT WITH CITY OF MADISON PERFORMANCE STANDARDS...AT A MINIUM, IMPLEMENTED EROSION CONTROL SHALL:
    - 11.1. PREVENT GULLY AND BANK EROSION.
    - 11.2. LIMIT TOTAL OFF-SITE PERMISSIBLE ANNUAL AGGREGATE SOIL LOSS FOR EXPOSED AREAS RESULTING FROM SHEET AND RILL EROSION TO AN ANNUAL, CUMULATIVE RATE NOT TO EXCEED 7.5 TONS PER ACRE PER YEAR.
    - 11.3. ANY PROPOSED MODIFICATIONS OF APPROVED PLANS OR ALTERATIONS OF ACCEPTED SEQUENCING OF LAND DISTURBING ACTIVITIES SHALL BE APPROVED BY THE ADMINISTRATIVE AUTHORITY PRIOR TO IMPLEMENTATION OF THE MODIFICATIONS.
    - 11.4. PLAN COMPLIANCE SHALL BE DETERMINED USING THE U.S. NATURAL RESOURCES CONSERVATION SERVICE TECHNICAL GUIDE OR ANOTHER COMMONLY ACCEPTED SOIL EROSION METHODOLOGY APPROVED BY THE ADMINISTRATIVE AUTHORITY, WHICH CONSIDERS SEASON OF YEAR, SITE CHARACTERISTICS, SOIL ERODABILITY AND SLOPE.
12. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY RAINFALL EVENT 0.5" OR GREATER. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING INSPECTION AND MAINTENANCE RECORDS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAIN REQUIRED PROJECT INFORMATION ON THE CITY OF MADISON WEBSITE INCLUDING:
    - 13.1. WITHIN TEN (10) WORKING DAYS OF RECEIPT OF THE PERMIT NUMBER AND ACCESS CODE, ENTER THE WEBSITE AND CREATE A LIST OF THE SITE EROSION CONTROL PRACTICES THAT ARE PROPOSED ON THE APPROVED PLAN.
    - 13.2. WITHIN TEN (10) WORKING DAYS OF THE ACTUAL START OF WORK - ENTER THE WEBSITE AND DOCUMENT THAT THE PRACTICES HAVE BEEN INSTALLED IN ACCORD WITH THE APPROVED PLAN.
    - 13.3. PROVIDE WEEKLY AND EVEN DRIVEN EROSION CONTROL INSPECTION DOCUMENTATION OF THE CONDITION OF THE PRACTICES AND NOTE ANY REPAIRS NEEDED AND ACTIONS TAKEN.
    - 13.4. WITHIN TEN (10) WORKING DAYS OF COMPLETION OF THE PROJECT, ENTER THE PROJECT AND NOTE THAT THE PROJECT HAS BEEN TERMINATED AND NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE DEPARTMENT OF THE NATURAL RESOURCES OR DEPARTMENT OF COMMERCE.
    - 13.5. UPON WRITTEN OR VERBAL NOTICE BY AN AGENT OF THE CITY OF MADISON TO THE CONTRACTOR OR THE CONTRACTOR'S DESIGNATED REPRESENTATIVE REGARDING AN EROSION CONTROL ACTION OR REPAIR NEEDED TO BRING THE SITE INTO COMPLIANCE THE CONTRACTOR SHALL HAVE NOT LESS THAN 24 NOR MORE THAN 72 HOURS TO BRING THE PROJECT SITE INTO COMPLIANCE AND DOCUMENT THOSE ACTIONS ON THE WEBSITE. THE TIME ALLOTTED TO BRING THE SITE INTO COMPLIANCE SHALL BE NOTED ON THE NOTICE.

SEEDING RATES:

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F., FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:
1. USE MADISON PARKS MIX AT 2 LB./1,000 S.F.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE 2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

SITE INSPECTION REQUIREMENTS

1. ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, ONCE EVERY SEVEN DAYS OR WITHIN 24 HOURS OF A RAINFALL EVENT EXCEEDING 0.5 INCHES WITHIN A 24 HOUR PERIOD.
2. MAINTAIN THE ON-SITE RAIN GAUGE & DATA, STORMWATER INSPECTION LOG SHEETS SHALL BE MAINTAINED ON-SITE IN ACCORDANCE WITH THE STORMWATER DISCHARGE PERMIT. THE PERMIT INFORMATION MUST BE COLLECTED AND MAINTAINED UNTIL THE INSPECTOR HAS DEEMED THE SITE COMPLETED STABILIZED. INSPECTIONS RECORDS TO BE PROVIDED TO THE OWNER UPON PROJECT COMPLETION.
4. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE. SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS. TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
5. TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
6. REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS WITH 72 HOURS OF THE REQUEST.
7. THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
8. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.
9. GROUND STABILIZATION: SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE, AS APPLICABLE:
    - A. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
    - B. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS POSSIBLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
    - C. ALL AREAS DISTURBED, NOT PERMANENTLY STABILIZED WITH AN IMPERVIOUS SURFACE (IE GRAVEL, ASPHALT, CONCRETE, BUILDING) ARE TO BE PERMANENTLY SEEDED.

EROSION CONTROL LEGEND

- INLET PROTECTION. REFER TO DETAIL 1, SHEET CI029-004.
- TRACKING PAD. REFER TO DETAIL 2, SHEET CI029-004.
- 1054 — EXISTING CONTOUR
- 1054 — PROPOSED CONTOUR. DENOTES FINISHED GRADE.
- SF — SILT FENCE. SEE DETAIL 3, SHEET CI029-004.
- LOD — DISTURBANCE LIMITS. REFER ALSO TO EROSION CONTROL NOTES.

CONSTRUCTION SEQUENCE

1. NO DISTURBANCE ONSITE IS TO OCCUR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:
    - a. CONTRACTOR RECEIVES APPROVED EROSION CONTROL PERMIT;
    - b. CONTRACTOR IS TO ARRANGE A PRE-CONSTRUCTION MEETING ONSITE WITH THE FOLLOWING INVITED:
    - i. OWNER - PROJECT MANAGER AND ENVIRONMENTAL MANAGER;
    - ii. CONTRACTOR - SITE SUPERINTENDENT AND ALL INDIVIDUALS RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIRS;
    - iv. JURISDICTIONAL INSPECTORS - SITE INSPECTORS (IF REQUIRED);
    - c. SITE SUPERINTENDENT PROVIDES TRAINING TO ALL PARTIES RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIRS.

    ONCE THESE CONDITIONS HAVE BEEN MET, THE OWNER SHOULD PROVIDE THE CONTRACTOR WRITTEN NOTIFICATION TO BEGIN INSTALLATION OF EROSION AND SEDIMENT CONTROL (ESC) DEVICES IN THE ORDER PRESCRIBED BELOW UNLESS OTHERWISE APPROVED IN WRITING BY CITY OF MADISON.
2. INSTALL PERIMETER EROSION CONTROL MEASURES.
3. CALL FOR ONSITE INSPECTION BY OWNER AND OBTAIN WRITTEN NOTIFICATION OF COMPLIANCE FROM JURISDICTIONAL INSPECTOR.
4. BEGIN SITE GRADING, UTILITY, AND OTHER IMPROVEMENT INSTALLATION. PROTECT ANY UNFINISHED STORM DRAIN PIPE ENDS UTILIZING PLYWOOD AND GRAVEL PIPE END PROTECTION. MAINTAIN EXISTING BIORETENTION AREA IN PLACE AS LONG AS REASONABLY POSSIBLE FOR USE AS SEDIMENT BASIN.
5. MAINTAIN ALL EROSION CONTROL DEVICES AS NEEDED THROUGHOUT CONSTRUCTION.
6. INSTALL AND MAINTAIN GROUND COVER AS SHOWN ON THE STABILIZATION TIMEFRAME SCHEDULE SHOWN ON THIS SHEET.
7. COMPLETE GRADING AND SITE IMPROVEMENTS.
8. CALL FOR ON-SITE MEETING TO OBTAIN APPROVAL FOR REMOVAL OF TEMPORARY EROSION CONTROL MEASURES AND STABILIZE THESE AREAS.

DUST CONTROL

VEGETATIVE COVER
FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL.

MULCH
WHEN PROPERLY APPLIED, MULCH OFFERS A FAST, EFFECTIVE MEANS OF CONTROLLING DUST.

MAINTENANCE
MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.

SHEET NOTES

EXISTING SITE PLAN LEGEND

- LIGHT POLE
- SIGN
- INLET
- CATCHBASIN
- SANITARY MANHOLE
- EXISTING HYDRANT
- EXISTING WATER VALVE
- T — TELEPHONE
- E — ELECTRIC
- G — GAS
- SS — SANITARY SEWER
- STO — STORM SEWER
- W — WATER MAIN
- BUILDING SETBACK
- 4RU — EXISTING FIREWATER
- 1052 — EXISTING CONTOUR
- ELECTRICAL BOX
- TELEPHONE PEDESTAL
- GAS METER
- EXISTING SHRUB
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- CARD READER
- CHAINLINK FENCE
- CURB AND GUTTER

PROPOSED SITE LEGEND

- ASPHALT
- CONCRETE
- GRASS / LANDSCAPE
- STORM SEWER CATCH BASIN
- STORM SEWER MANHOLE
- STORM SEWER END WALL AND RIP RAP APRON
- X — PROPOSED CHAIN LINK FENCE
- FM — PROPOSED FORCE MAIN LINE
- SD — PROPOSED STORM DRAIN LINE
- SS — PROPOSED SANITARY SEWER LINE
- W — PROPOSED WATER LINE
- G — PROPOSED NATURAL GAS
- PROPOSED SWALE
- FOUNDATION DRAIN

N

0 30' 60' 90'
1"=30'

NOTE:
ALL CURRENT REVISIONS ARE IDENTIFIED WITH A TRIANGLE AND AN ALPHA OR NUMERIC CHARACTER. ONLY PREVIOUS NUMBERED REVISION TRIANGLES WILL REMAIN AND ONLY CURRENT REVISION CLOUDS WILL BE DISPLAYED.

REV	BY	DATE	DRAWING REVISION DESCRIPTION
A	LR	06/08/2020	ISSUED FOR PERMIT

APPROVALS AND DATE OF CURRENT REVISION

CHECKED:	JEG		
DISCIPLINE:	JEG	DATE:	04/03/2020
PM:	A. RICE		

DRAWING CREATION DATE

DRAWN:	LR	DATE:	04/03/2020
DESIGNED:	LR		

PE OR RA REGISTRATION SEAL

PRELIMINARY
NOT FOR CONSTRUCTION

Jacobs
111 CORNING ROAD, SUITE 200, CARY, NC 27518 - U.S.A.
Phone: 919.859.5000 FAX: 919.859.5151

JACOBS PROJECT No. 17FFVI01

CLIENT
MilliporeSigma
HPAPI SITE EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

DRAWING TITLE
CIVIL
EROSION CONTROL PLAN

JACOBS DRAWING NUMBER
17FFVI01-CI023-001

CLIENT DRAWING NUMBER

DO NOT SCALE THIS DRAWING

17FFVI01-CI023-001.dwg

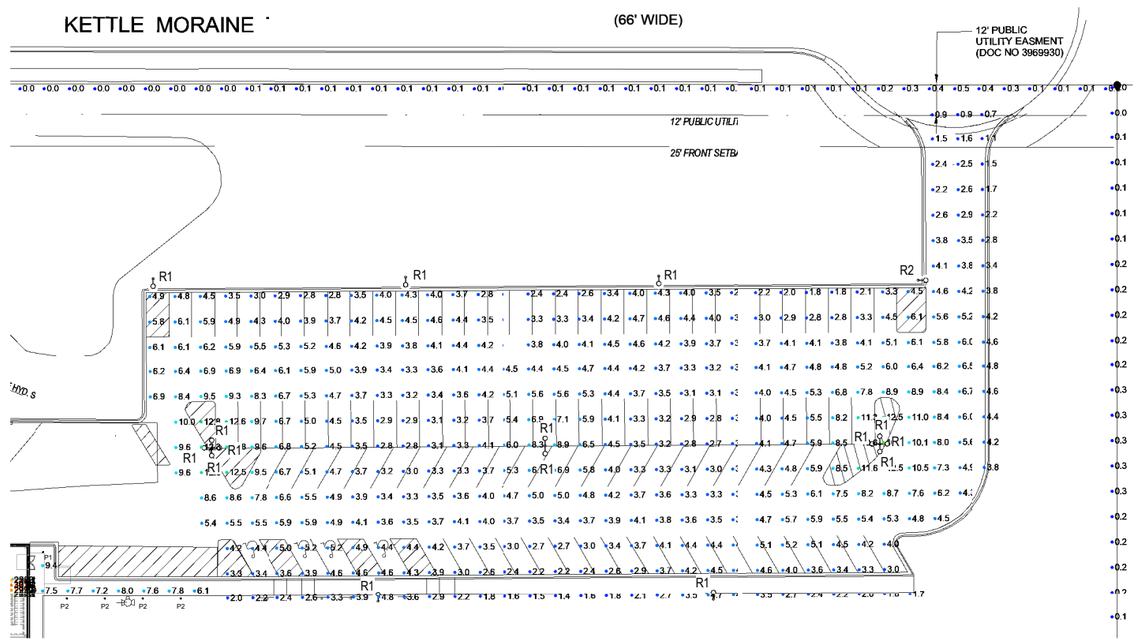
SITE LIGHTING FIXTURE SCHEDULE

Type	Manufacturer	Model	Description	Lamp	Voltage	Apparent Load
P1	KIM LIGHTING	PAVILION SQUARE SERIES	48" EXTERIOR BOLLARD	LED	277 V	22 VA
P2	KIM LIGHTING	PAVILION SQUARE SERIES	48" EXTERIOR BOLLARD	LED	277 V	22 VA
R1	COOPER LIGHTING / INVUE	VXM-E06-LED-E1-T4-B2(MATCH EXISTING)-PC(277V)	ARCHITECTURAL AREA/SITE LIGHT, LED, TYPE VI DISTRIBUTION, PHOTOCELL CONTROL, BRONZE FINISH (MATCH EXISTING)	LED	277 V	150 VA
R2	COOPER LIGHTING / INVUE	VXM-E06-LED-E1-T2-B2(MATCH EXISTING)-PC(277V)	ARCHITECTURAL AREA/SITE LIGHT, LED, TYPE II DISTRIBUTION, PHOTOCELL CONTROL, BRONZE FINISH (MATCH EXISTING)	LED	277 V	150 VA

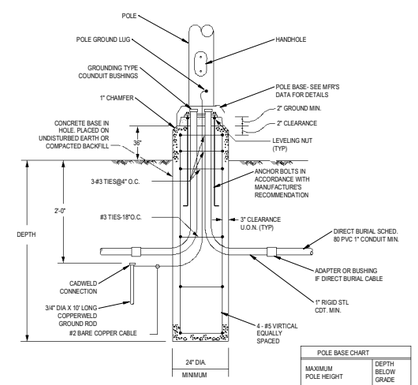
NOTE: SITE FIXTURE TYPES "R1" AND "R2" SHALL BE MOUNTED AT 23'-0" ABOVE PAVEMENT ON ROUND STRAIGHT STEEL POLES, HUBBELL # RSS-H-20-40-B-4-S2-DB-UL.

LIGHTING ILLUMINANCE

AREA	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN RATIO
NORTH PROPERTY LINE	0.1fc	0.5fc	0fc	N/A
EAST PROPERTY LINE	0.2fc	0.3fc	0fc	N/A
PARKING LOT	4.6fc	16.6fc	0.7fc	23.0
SIDEWALK	6.4fc	8.7fc	4.0fc	2.1



1 SITE LIGHTING CALCULATION PLAN
SCALE: 1" = 20'-0"



NOTES

1. PROVIDE BASE 36" ABOVE GRADE ELEVATION.
2. BOND GROUND ROD CABLE, CONDUIT BUSHING, AND BRANCH CIRCUIT GROUND CONDUCTOR TO POLE GROUND LUG.
3. COORDINATE WITH POLE MANUFACTURER'S RECOMMENDATIONS

POLE BASE CHART

MAXIMUM POLE HEIGHT	DEPTH BELOW GRADE
UP TO 20 FEET	4'-0"
25 FEET	5'-0"
30 FEET	6'-0"
35 FEET	7'-0"

2 POLE BASE DETAIL
SCALE: NONE

DO NOT SCALE THIS DRAWING

0 20' 40' 60'
1"=20'-0"

N

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REV	BY	DATE	DRAWING REVISION DESCRIPTION
A	SFK	06/08/2020	IN PROGRESS

APPROVALS AND DATE OF CURRENT REVISION

CHECKED: S. KARIUS	DATE: 06/08/2020
DISC LEAD: S. KARIUS	
PM: S. SUNSHINE	
DRAWING CREATION DATE	
DRAWN: D. WILLIAMS	DATE:
DESIGNED: C. NGUYEN	

PE OR RA REGISTRATION SEAL
PRELIMINARY NOT FOR CONSTRUCTION

Jacobs
111 CORNING ROAD, SUITE 200, CARY, NC 27518 - U.S.A.
Phone: 919.859.5000 FAX: 919.859.5151

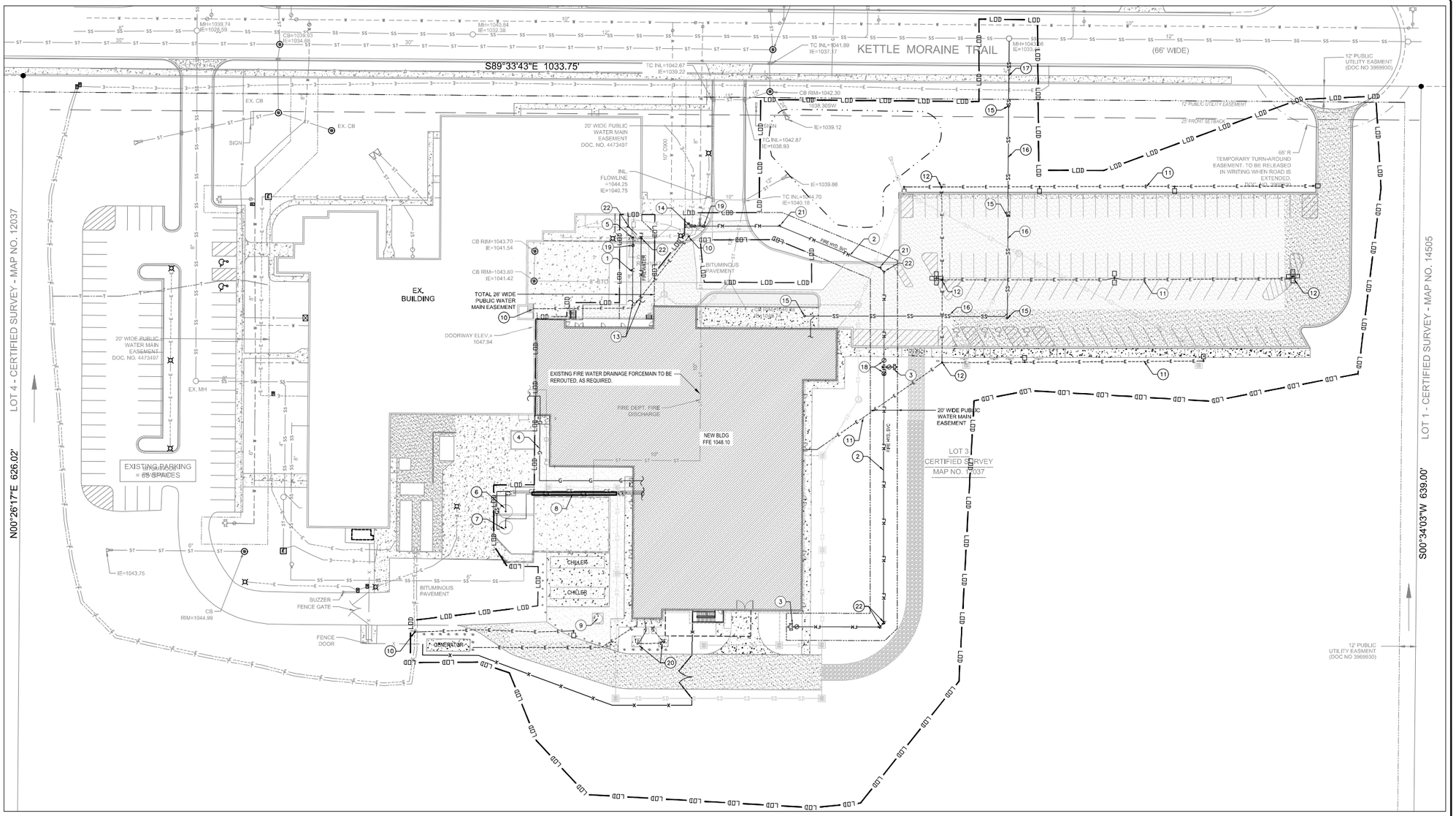
JACOBS PROJECT No. 17FFVI01

CLIENT
MilliporeSigma
HPAPI EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

DRAWING TITLE
ELECTRICAL
SITE LIGHTING CALCULATIONS

JACOBS DRAWING NUMBER
17FFVI01-EL021-002A

CLIENT DRAWING NUMBER



UTILITY NOTES

1. 8" DI WATER FEED FOR FIRE AND DOMESTIC WATER SERVICE
2. 8" DI FIRE HYD. SVC
3. FIRE HYDRANT ASSEMBLY, TYP. PER DETAIL 7.04, SHEET 17FFVI01-CI029-002.
4. NATURAL GAS LINE
5. 8"X10" TS&V WITH THRUST BLOCK PER DETAIL 7.13, SHEET 17FFVI01-CI029-002.
6. EXISTING AQUEOUS HIGH-POTENT WASTE TANK
7. EXISTING AQUEOUS HIGH-POTENT WASTE TANK (FLAMMABLE/ ORGANIC WASTE TANK)
8. NEW PIPE BRIDGE WILL BE ROUTED TO EXISTING RACK IN TANK FARM
9. CHILLED WATER BUFFER TANK - GA BY OTHERS
10. NEW ELECTRICAL LINE TO RELOCATED POLE LIGHT. SPLICE TO EXISTING AREA LIGHTING CIRCUIT IN NEW HAND HOLE. FIELD TRACE THE EXISTING UNDERGROUND LIGHTING CIRCUIT BEFORE DIGGING. REFER TO ELECTRICAL PLANS.
11. ELECTRICAL LINE. REFER TO ELECTRICAL PLANS.
12. HAND HOLE SHALL BE QUAZITE POLYMER CONCRETE OPEN BOTTOM STYLE ENCLOSURE OR APPROVED EQUAL.
13. WATER FEED AND FIREWATER CONNECTIONS. REFER TO MECHANICAL PLANS FOR CONTINUATION.
14. RELOCATED FIRE HYDRANT. INSTALL NEW TEE AND NEW VALVE PER DETAIL 7.04, SHEET 17FFVI01-CI029-002.
15. TRAFFIC BEARING CLEANOUT PER DETAIL 2, SHEET 17FFVI01-CI029-002.
16. 6" PVC SANITARY SEWER LATERAL
17. NEW 6" PVC SANITARY SEWER LATERAL CONNECTION TO EXISTING MANHOLE. (EXISTING SERVICE STUB TO SITE IS 4" PER RECORD.)
18. POST INDICATOR VALVE PER DETAIL 1, SHEET 17FFVI01-CI029-002.
19. WATER MAIN VALVE ACCESS STRUCTURE PER DETAIL 7.05, SHEET 17FFVI01-CI029-002.
20. 11.25 DEGREE BEND WITH THRUST BLOCK PER DETAIL 7.13, SHEET 17FFVI01-CI029-002.
21. 22.25 DEGREE BEND WITH THRUST BLOCK PER DETAIL 7.13, SHEET 17FFVI01-CI029-002.
22. 45 DEGREE BEND WITH THRUST BLOCK PER DETAIL 7.13, SHEET 17FFVI01-CI029-002.

UTILITY NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
2. WATER LINES SHALL BE INSTALLED PER CITY OF MADISON STANDARDS AND SPECIFICATIONS.
3. MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE BETWEEN ALL UTILITIES IF NOT SPECIFIED BY PROVIDER. IN ALL CASES, MAINTAIN SEPARATION AS REQUIRED BY PROVIDER.
4. VERIFY ALL SIZES, INVERTS, AND LOCATIONS OF BUILDING UTILITY SERVICES.
5. FIREWATER HOLDING TANK AND PIPING SHALL BE COORDINATED WITH SITE UTILITY, STORM DRAIN, RETAINING WALLS, SIDEWALKS, AND OTHER SITE CONDITIONS. EXCAVATION AND TANK INSTALLATION SHALL NOT ENCROACH INTO THE 1:1 SLOPE BEGINNING AT THE TOE OF THE BUILDING FOUNDATION. REFER ALSO TO PLUMBING PLANS. INSTALL 12" WIDE x 8" DEEP CONCRETE COLLAR AROUND MANHOLE TOP.

OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.

THIS PLAN IS NOT INTENDED TO BE USED FOR BUILDING OR ADJACENT FACILITY LAYOUT, REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DRAWINGS FOR FINAL LAYOUT.

SHEET NOTES

EXISTING SITE PLAN LEGEND

- LIGHT POLE
- SIGN
- INLET
- CATCHBASIN
- SANITARY MANHOLE
- EXISTING HYDRANT
- EXISTING WATER VALVE
- TELEPHONE
- ELECTRIC
- GAS
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- BUILDING SETBACK
- EXISTING FIREWATER
- EXISTING CONTOUR
- ELECTRICAL BOX
- TELEPHONE PEDESTAL
- GAS METER
- EXISTING SHRUB
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- CARD READER
- CHAINLINK FENCE
- CURB AND GUTTER

PROPOSED SITE LEGEND

- ASPHALT
- CONCRETE
- GRASS / LANDSCAPE
- STORM SEWER CATCH BASIN
- STORM SEWER MANHOLE
- STORM SEWER END WALL AND RIP RAP APRON
- POST INDICATOR VALVE
- FIRE HYDRANT ASSEMBLY
- WATER VALVE
- FITTINGS
- PROPOSED ELECTRICAL LINE
- PROPOSED CHEMICAL SEWER
- PROPOSED CHAIN LINK FENCE
- PROPOSED FORCE MAIN LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- PROPOSED NATURAL GAS
- PROPOSED SWALE
- LIMIT OF DISTURBANCE
- TRENCH DRAIN
- LIGHTS

N

0 30' 60' 90'
1"=30'

NOTE:
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B	KB	04/28/2020	ISSUED FOR CLIENT REVIEW
A	KB	04/03/2020	ISSUED FOR ESTIMATE

APPROVALS AND DATE OF CURRENT REVISION

CHECKED: JEG
DISCIPLINE: JEG
PM: A. RICE
DATE: 04/03/2020

DRAWING CREATION DATE

DRAWN: KB
DESIGNED: KB
DATE: 04/03/2020

PE OR RA REGISTRATION SEAL

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JACOBS PROJECT No. 17FFVI01

CLIENT
MilliporeSigma

HPAPI SITE EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

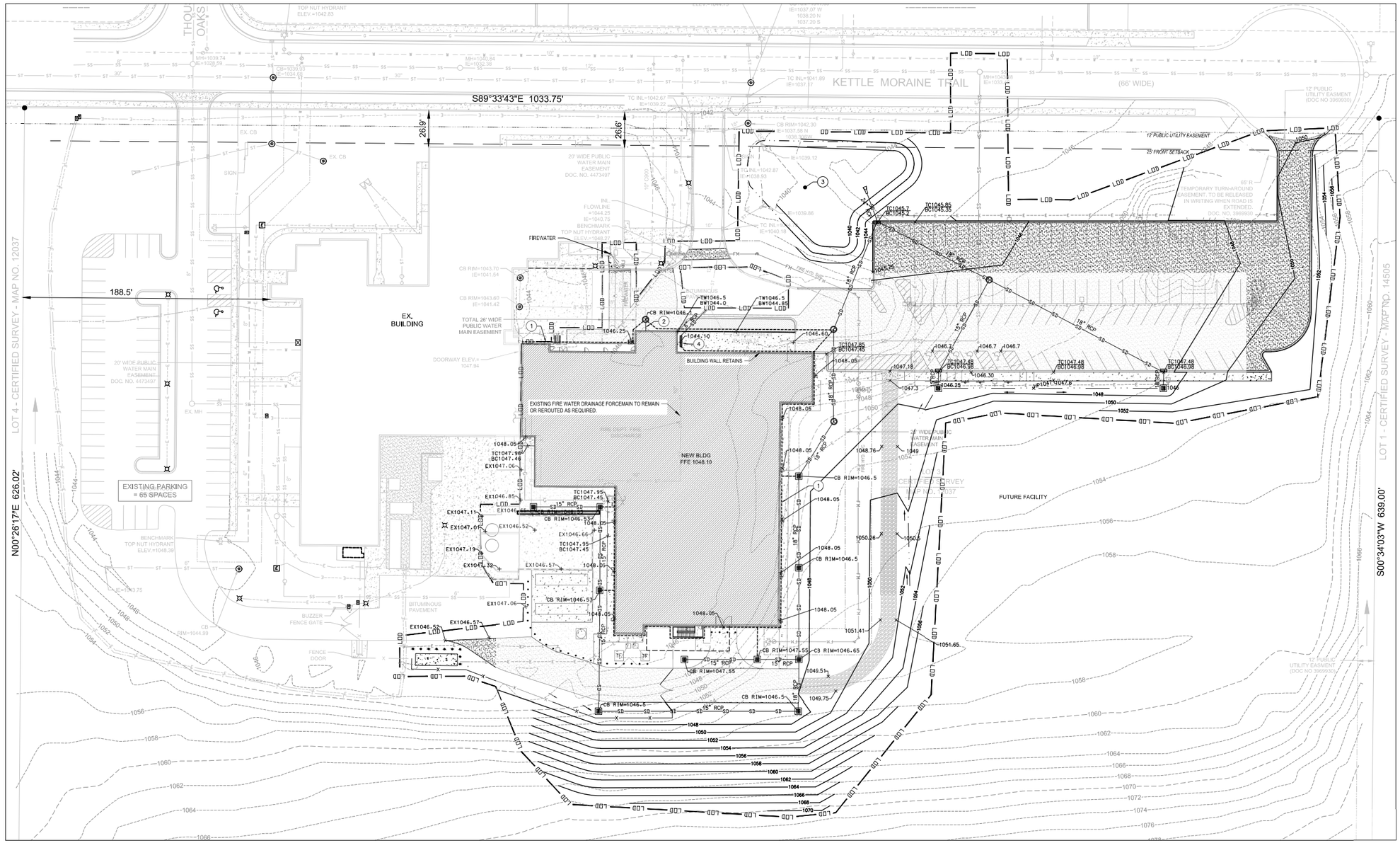
DRAWING TITLE
CIVIL
UTILITY PLAN

JACOBS DRAWING NUMBER
17FFVI01-CI024-001

CLIENT DRAWING NUMBER

DO NOT SCALE THIS DRAWING

17FFVI01-CI024-001.dwg



GRADING PLAN KEYNOTES

1. 4" PERFORATED PVC FOUNDATION DRAIN (TYP.).
2. ROOF LEADER (TYP.). REFER TO MECHANICAL PLANS.
3. STORMWATER MANAGEMENT AREA
4. TRENCH DRAIN. REFER TO STRUCTURAL PLANS.

SHEET NOTES

EXISTING SITE PLAN LEGEND

- LIGHT POLE
- SIGN
- INLET
- CATCHBASIN
- SANITARY MANHOLE
- EXISTING HYDRANT
- EXISTING WATER VALVE
- TELEPHONE
- ELECTRIC
- GAS
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- BUILDING SETBACK
- EXISTING FIREWATER
- EXISTING CONTOUR
- ELECTRICAL BOX
- TELEPHONE PEDESTAL
- GAS METER
- EXISTING SHRUB
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- CARD READER
- CHAINLINK FENCE
- CURB AND GUTTER

PROPOSED SITE LEGEND

- ASPHALT
- CONCRETE
- GRASS / LANDSCAPE
- STORM SEWER CATCH BASIN
- STORM SEWER MANHOLE
- STORM SEWER END WALL AND RIP RAP APRON
- PROPOSED CHAIN LINK FENCE
- PROPOSED FORCE MAIN LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- PROPOSED NATURAL GAS
- PROPOSED SWALE
- UTILITY TO BE DEMOLISHED
- FOUNDATION DRAIN

N

0 30' 60' 90'
1"=30'

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JACOBS PROJECT No. 17FFVI01

CLIENT
MilliporeSigma
HPAPI SITE EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

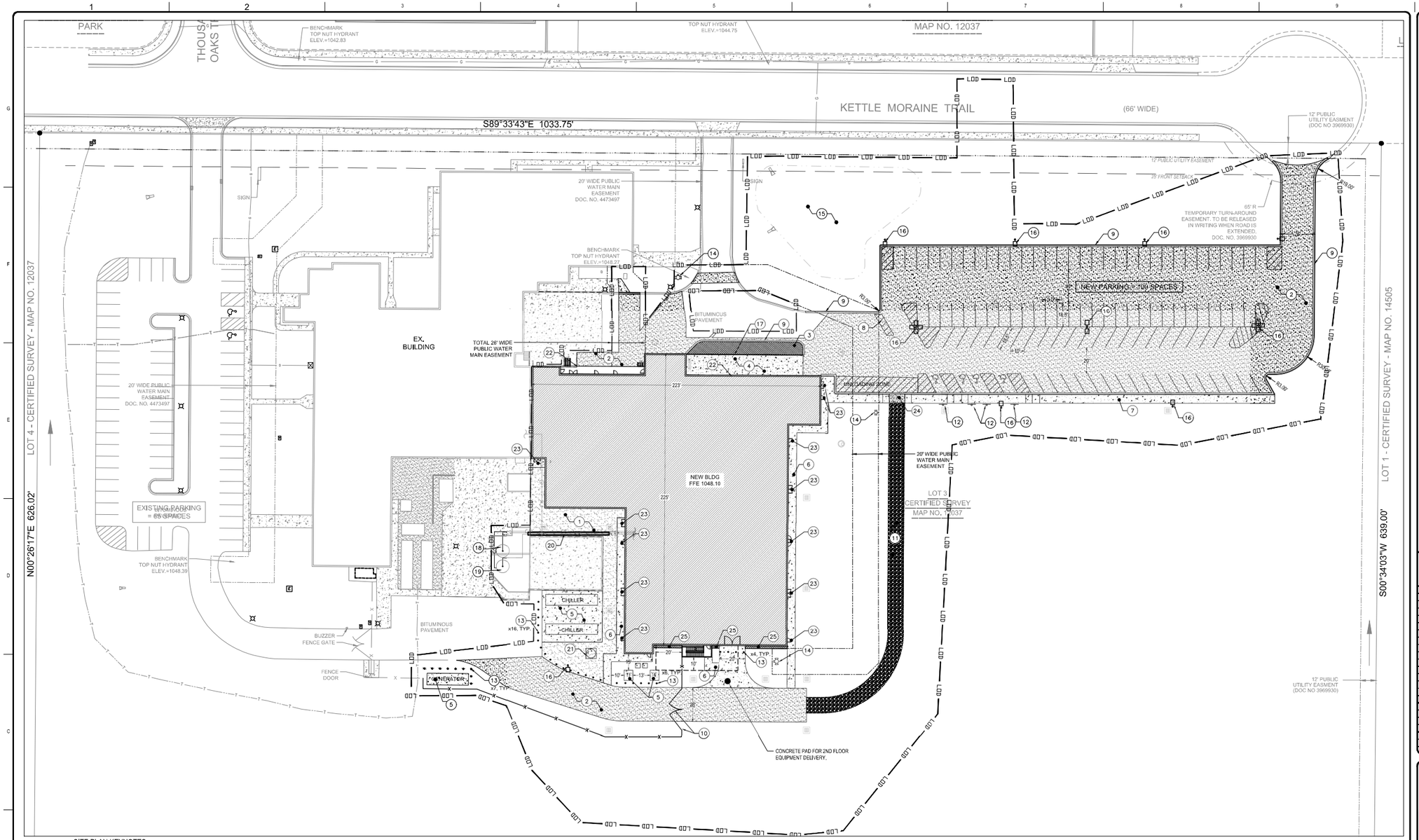
DRAWING TITLE
CIVIL
GRADING PLAN

JACOBS DRAWING NUMBER
17FFVI01-CI025-001

CLIENT DRAWING NUMBER

DO NOT SCALE THIS DRAWING

17FFVI01-CI025-001.dwg



SITE PLAN KEYNOTES

1. LIGHT DUTY ASPHALT - 2" SURFACE COAT, 1.5" BINDER, 12" ABC STONE PER DETAIL 5, SHEET 17FFVI01-CI0029-001.
2. HEAVY DUTY ASPHALT - 3" SURFACE COAT, 3" BINDER, 12" ABC STONE PER DETAIL 5, SHEET 17FFVI01-CI0029-001.
3. LANDSCAPING AREA
4. 8" CONCRETE LOADING DOCK
5. CONCRETE PAD. REFER TO STRUCTURAL PLANS
6. 6' CONCRETE SIDEWALK PER DETAIL 1, SHEET 17FFVI01-CI0029-001.
7. 6.5' CONCRETE SIDEWALK PER DETAIL 1, SHEET 17FFVI01-CI0029-001.
8. YELLOW STRIPING (PAINTED) NO DELINEATORS OR CONCRETE
9. 18" CURB AND GUTTER (TYP.) PER DETAIL 2, SHEET 17FFVI01-CI0029-001.
10. FENCE AND GATE
11. 12' GRAVEL ROAD
12. ACCESSIBLE PARKING SIGNS (TYP.)
13. BOLLARD (TYP.) PER DETAIL 4, SHEET 17FFVI01-CI0029-001.
14. FIRE HYDRANT (TYP.)
15. PROPOSED STORMWATER MANAGEMENT AREA
16. STREET LIGHTS. REFER TO ELECTRICAL PLANS
17. RETAINING WALL WITH HANDRAIL BY OTHER
18. AQUEOUS HIGH-POTENT WASTE TANK
19. AQUEOUS HIGH-POTENT WASTE TANK (FLAMMABLE/ ORGANIC WASTE TANK)
20. NEW PIPE BRIDGE WILL BE ROUTED TO EXISTING RACK IN TANK FARM
21. CHILLED WATER BUFFER TANK - GA BY OTHERS
22. BUILDING WALL RETAINS
23. DOORWAY LANDING. REFER TO STRUCTURAL PLANS
24. HEAVY DUTY CONCRETE
25. 2' WIDE MOW STRIP PER DETAIL 3, SHEET 17FFVI01-CI0029-001.

DO NOT SCALE THIS DRAWING

SHEET NOTES

EXISTING SITE PLAN LEGEND

- LIGHT POLE
- SIGN
- INLET
- CATCHBASIN
- SANITARY MANHOLE
- EXISTING HYDRANT
- EXISTING WATER VALVE
- TELEPHONE
- ELECTRIC
- GAS
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- BUILDING SETBACK
- EXISTING FIREWATER
- EXISTING CONTOUR
- ELECTRICAL BOX
- TELEPHONE PEDESTAL
- GAS METER
- EXISTING SHRUB
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- CARD READER
- CHAINLINK FENCE
- CURB AND GUTTER
- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT
- CONCRETE

PROPOSED SITE LEGEND

- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT
- CONCRETE
- GRASS / LANDSCAPE
- STORM SEWER CATCH BASIN
- STORM SEWER MANHOLE
- STORM SEWER END WALL AND RIP RAP APRON
- HYDRANT
- PROPOSED CHAIN LINK FENCE
- PROPOSED SANITARY SEWER LINE
- PROPOSED SWALE
- LIMIT OF DISTURBANCE
- FOUNDATION DRAIN
- TRENCH DRAIN
- LIGHTS

N

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JACOBS PROJECT No. 17FFVI01

CLIENT
MilliporeSigma
HPAPI SITE EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

DRAWING TITLE
CIVIL
SITE PLAN

JACOBS DRAWING NUMBER
17FFVI01-CI026-001

CLIENT DRAWING NUMBER

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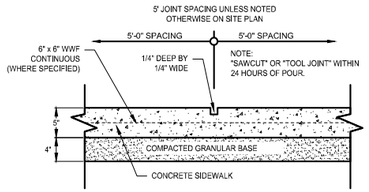
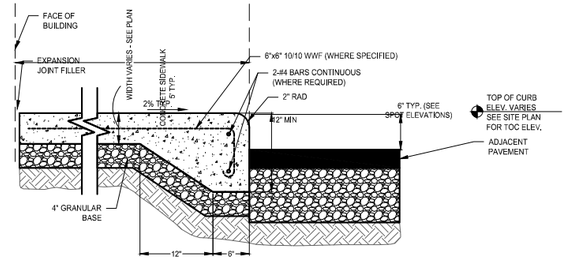
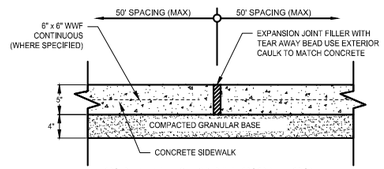


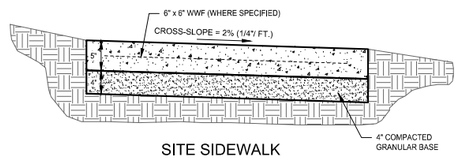
SIDEWALK CONTROL JOINT



SIDEWALK ADJACENT TO PARKING

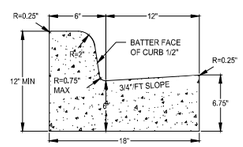


SIDEWALK EXPANSION JOINT

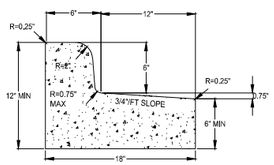


SITE SIDEWALK

1 CONCRETE SIDEWALK
NOT TO SCALE

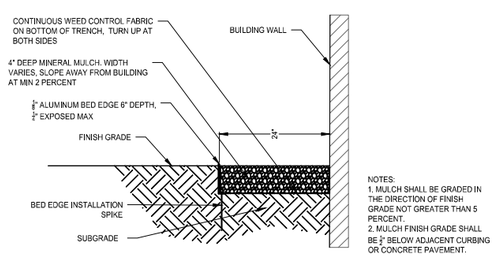


CURB AND GUTTER CROSS SECTION



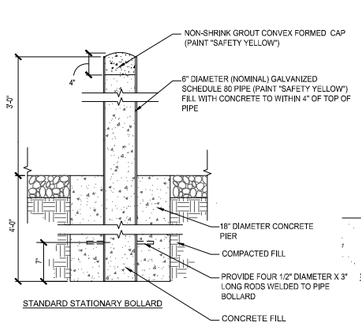
CURB AND GUTTER SPILL SECTION

2 18" CONCRETE CURB AND GUTTER
NOT TO SCALE

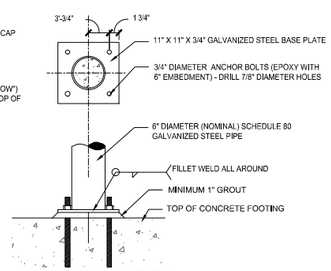


NOTES:
1. MULCH SHALL BE GRADED IN THE DIRECTION OF FINISH GRADE NOT GREATER THAN 5 PERCENT.
2. MULCH FINISH GRADE SHALL BE 1/2" BELOW ADJACENT CURBING OR CONCRETE PAVEMENT.

3 MOW STRIP
NOT TO SCALE



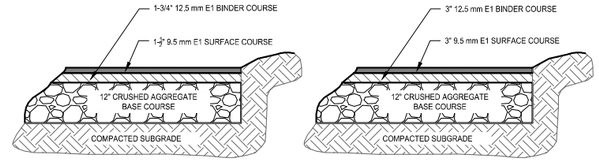
STANDARD STATIONARY BOLLARD



STATIONARY BOLLARD @ FOOTING

NOTE:
CONCRETE SLAB / PAVEMENT NOT INDICATED PROVIDE 3'-0" OF PIPE ABOVE PAVEMENT. FILL PIPE WITH GROUT REFERENCE A5/A-521. PAINT EXPOSED PORTIONS SAFETY YELLOW. ALL STEEL SHALL BE HOT-DIPPED GALVANIZED.

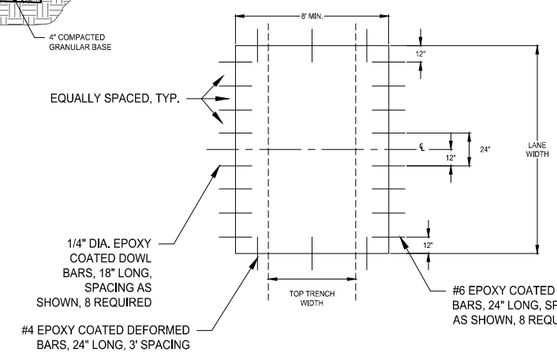
4 PIPE BOLLARD
NOT TO SCALE



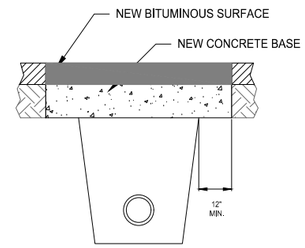
STANDARD DUTY HEAVY DUTY

NOTE: USE HEAVY DUTY ASPHALT FOR ALL DRIVE AISLES AND TRUCK LOADING AREAS. USE STANDARD DUTY IN ALL OTHER LOCATIONS.

5 SITE PAVEMENT
NOT TO SCALE



SECTION A-A



TYPE II

TYPE II UTILITY TRENCH PATCH

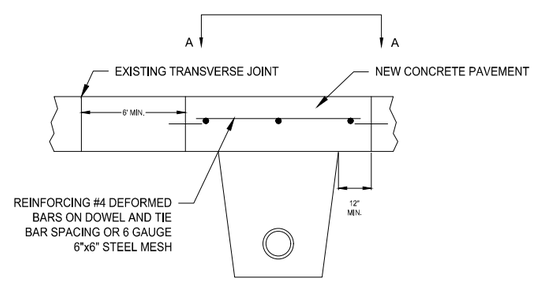
THE PATCH SHALL BE 7" HIGH EARLY STRENGTH CONCRETE BASE OVERLAID WITH BITUMINOUS SURFACE COURSE. WHERE SPECIFIED, OR DIRECTED BY THE ENGINEER, THE BASE SHALL BE CONSTRUCTED OF BITUMINOUS BASE COURSE MATERIAL, SHALL BE THE SAME THICKNESS AS THE EXISTING BASE, AND SHALL BE LAID IN TWO OR MORE COMPACTED LIFTS OF NOT MORE THAN 3" IN THICKNESS EACH.

THE PAVEMENT ALONG THE PATCH SHALL BE SAWCUT, FULL DEPTH. THE EDGES OF THE PATCH SHALL BE VERTICAL, FREE OF LOOSE STONES OR CONCRETE PIECES, AND SHALL BE THOROUGHLY WETTED JUST PRIOR TO POURING THE NEW CONCRETE BASE.

THE TOP OF THE NEW CONCRETE BASE SHALL BE FLUSH WITH THE TOP OF THE EXISTING BASE.

PRIOR TO PLACING THE BITUMINOUS SURFACE COURSE, THE EDGES OF THE PATCH AND THE SURFACE OF THE NEW CONCRETE BASE SHALL BE THOROUGHLY TACKED WITH LIQUID ASPHALT.

THE BITUMINOUS SURFACE COURSE SHALL BE THE SAME THICKNESS AS THE EXISTING BITUMINOUS AND SHALL BE LAID IN ONE OR MORE COURSES AS DIRECTED BY THE ENGINEER. THE BITUMINOUS SURFACE COURSE SHALL BE MACHINE LAID WHERE DIRECTED BY THE ENGINEER. WHERE THE BITUMINOUS SURFACE COURSE IS MACHINE LAID, AND IS NOT MORE THAN 3" IN THICKNESS, THE BITUMINOUS SURFACE COURSE MAY BE LAID IN ONE LIFT.



TYPE I

TYPE I UTILITY TRENCH PATCH

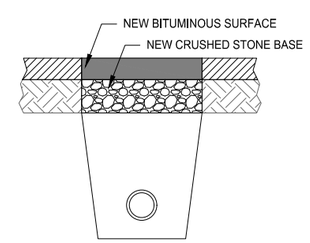
THE PAVEMENT SHALL BE REMOVED IN TWO STAGES. THE INITIAL PAVEMENT REMOVAL SHALL BE LIMITED TO THE AREA OF THE PROPOSED TRENCH. FULL-DEPTH SAWCUTTING WILL NOT BE REQUIRED FOR THIS PHASE OF THE PAVEMENT REMOVAL. AFTER THE TRENCH HAS BEEN BACKFILLED AND COMPACTED, AND AFTER THE BASE HAS BEEN RESTORED IN THE AREA OF THE TRENCH, AND AFTER SAWCUTTING THE NEW JOINTS THE FULL DEPTH OF THE EXISTING PAVEMENT, THE REMAINING PAVEMENT TO BE REMOVED SHALL BE REMOVED WITHOUT DISTURBING THE EXISTING BASE.

THE SIZE OF THE PATCH SHALL BE DETERMINED BY THE TOP WIDTH OF THE TRENCH, THE LOCATION AND SKEW OF THE EXISTING TRANSVERSE JOINTS, THE CONDITIONS OF THE EXISTING PAVEMENT, AND THE CONDITION OF THE BASE. NEW TRANSVERSE JOINTS SHALL BE PARALLEL TO THE EXISTING TRANSVERSE JOINTS, AND SHALL BE A MINIMUM OF ONE FOOT FROM THE TRENCH. THE DISTANCE BETWEEN NEW AND EXISTING TRANSVERSE JOINTS SHALL BE A MINIMUM OF SIX FEET, MEASURED PERPENDICULARLY TO THE JOINTS. THE PATCH SHALL BE A MINIMUM OF EIGHT FEET IN LENGTH AND SHALL HAVE THE SAME WIDTH AS THE PAVEMENT LANE.

THE PATCH SHALL BE NINE INCHES IN THICKNESS, OF HIGH EARLY STRENGTH CONCRETE DOWELED AND TIED WITH EPOXY COATED COATED BARS, AND REINFORCED, ALL IN ACCORDANCE WITH THE TYPICAL SECTION.

THE TRANSVERSE EDGES OF THE FINISHED PATCH SHALL BE FLUSH WITH THE EDGES OF THE EXISTING CONCRETE PAVEMENT. THE LONGITUDINAL SURFACE SHALL FORM A STRAIGHT LINE FROM EDGE TO EDGE WITHIN A TOLERANCE OF ~1/8 INCH.

6 UTILITY TRENCH PAVEMENT PATCHES
NOT TO SCALE



TYPE III

TYPE III UTILITY TRENCH PATCH

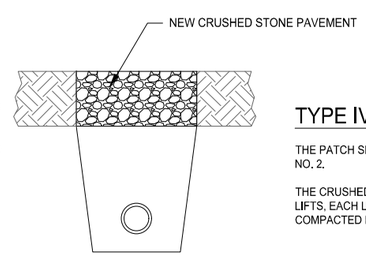
THE PATCH SHALL BE 8" CRUSHED STONE BASE COURSE, GRADATION NO. 2, OVERLAID WITH BITUMINOUS SURFACE COURSE EQUAL IN THICKNESS TO THE EXISTING BITUMINOUS PAVEMENT, 3" MINIMUM THICKNESS.

THE PAVEMENT ALONG THE PATCH SHALL BE SAWCUT, FULL DEPTH, THE EDGES OF THE EXISTING BITUMINOUS PAVEMENT SHALL BE FREE OF LOOSE STONES OR PAVEMENT MATERIAL.

THE CRUSHED STONE BASE COURSE SHALL BE INSTALLED IN TWO LIFTS, THE LOWER LIFT SHALL BE THOROUGHLY MECHANICALLY COMPACTED PRIOR TO PLACING THE UPPER LIFT.

THE BITUMINOUS SURFACE COURSE SHALL BE LAID IN TWO LIFTS, THE BITUMINOUS SURFACE COURSE SHALL BE MACHINE LAID WHERE DIRECTED BY THE ENGINEER. WHERE THE BITUMINOUS SURFACE COURSE IS MACHINE LAID AND IS NOT MORE THAN 3" IN THICKNESS, THE BITUMINOUS SURFACE COURSE MAY BE IN ONE LIFT.

PRIOR TO PLACING THE BITUMINOUS SURFACE COURSE, THE EDGES OF THE PATCH AND THE SURFACE OF THE CRUSHED STONE BASE SHALL BE TACKED AND PRIMED WITH LIQUID ASPHALT.



TYPE IV

TYPE IV UTILITY TRENCH PATCH

THE PATCH SHALL BE 9" CRUSHED STONE BASE COURSE, GRADATION NO. 2.

THE CRUSHED STONE BASE COURSE SHALL BE INSTALLED IN THREE LIFTS, EACH LIFT SHALL BE THOROUGHLY MECHANICALLY COMPACTED PRIOR TO PLACING SUCCEEDING LIFTS.

SHEET NOTES

NOTE:
ALL CURRENT REVISIONS ARE IDENTIFIED WITH A TRIANGLE AND AN ALPHA OR NUMERIC CHARACTER. ONLY PREVIOUS NUMBERED REVISION TRIANGLES WILL REMAIN AND ONLY CURRENT REVISION CLOUDS WILL BE DISPLAYED.

REV	BY	DATE	DRAWING REVISION DESCRIPTION
A	KB	06/08/2020	ISSUED FOR PERMIT

APPROVALS AND DATE OF CURRENT REVISION

CHECKED:	JEG	
DISCIPLINE:	JEG	DATE: 04/03/2020
PM:	A. RICE	

DRAWING CREATION DATE

DRAWN:	KB	
DESIGNED:	KB	DATE: 04/03/2020

PE OR RA REGISTRATION SEAL

PRELIMINARY NOT FOR CONSTRUCTION

Jacobs
111 CORNING ROAD, SUITE 200, CARY, NC 27518 - U.S.A.
Phone: 919.859.5000 FAX: 919.859.5151

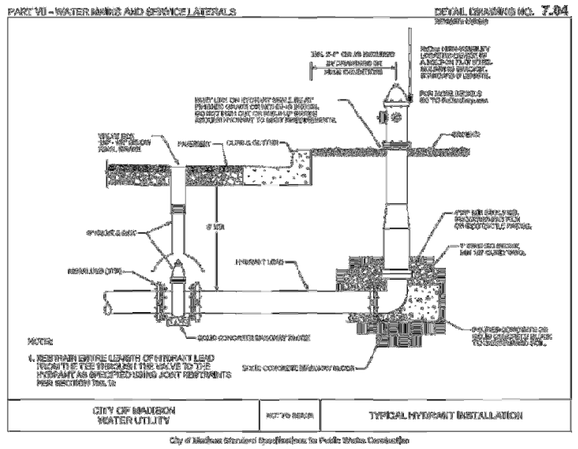
JACOBS PROJECT No. 17FFVI01

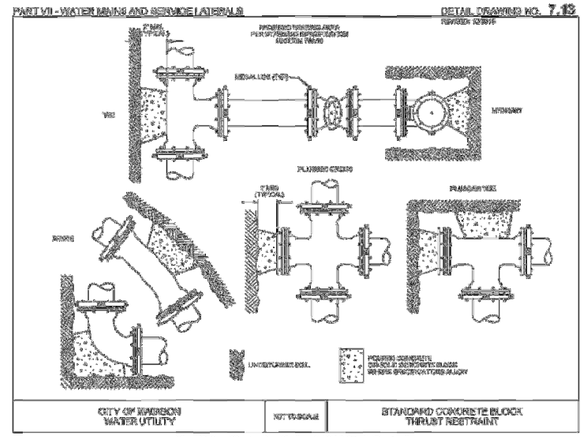
CLIENT
MilliporeSigma
HPAPI SITE EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

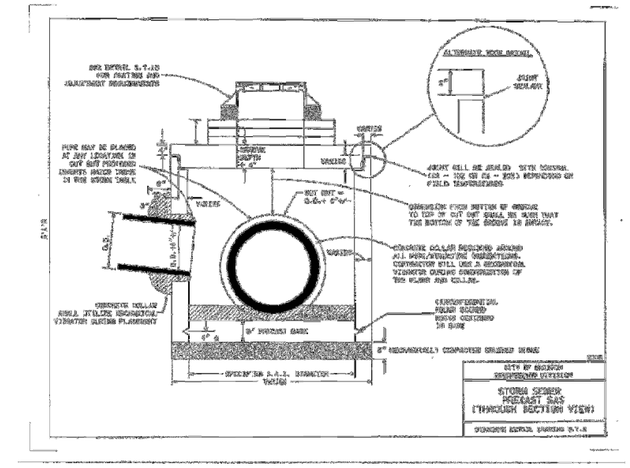
DRAWING TITLE
CIVIL
SITE DETAILS

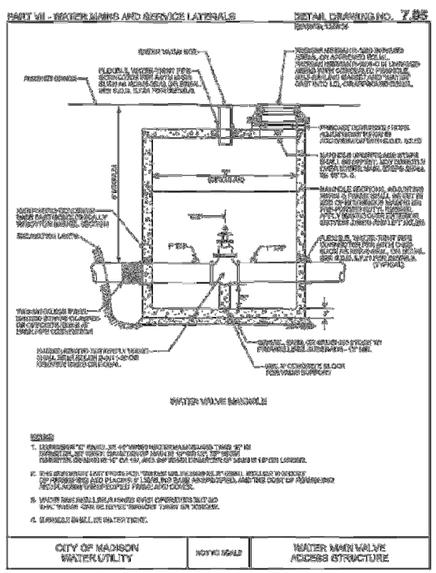
JACOBS DRAWING NUMBER
17FFVI01-CI029-001

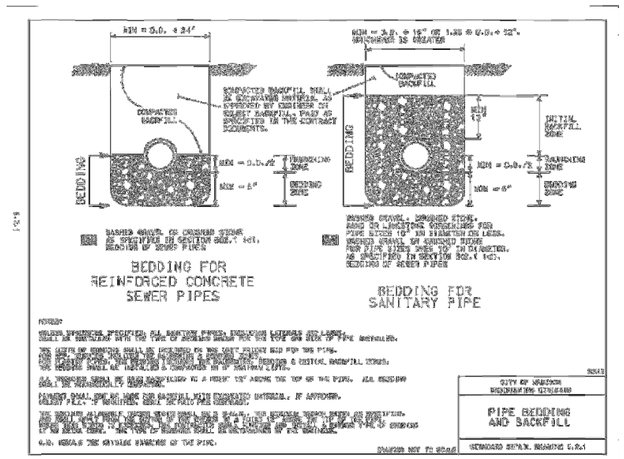
CLIENT DRAWING NUMBER

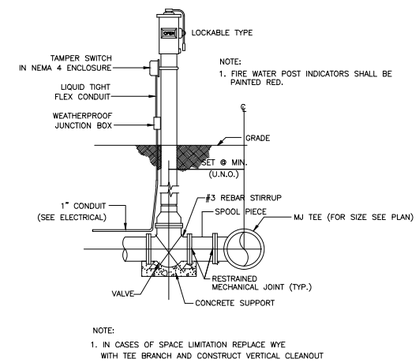








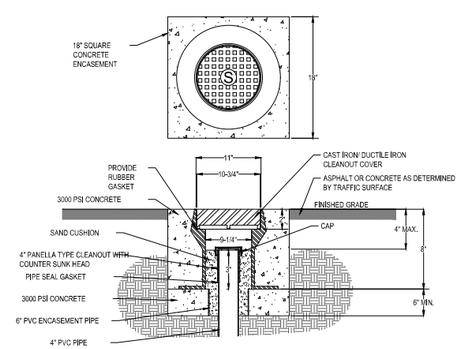




NOTE:
1. FIRE WATER POST INDICATORS SHALL BE PAINTED RED.

NOTE:
1. IN CASES OF SPACE LIMITATION REPLACE WYE WITH TEE BRANCH AND CONSTRUCT VERTICAL CLEANOUT

1 PIV & TEE CONNECTION
NOT TO SCALE



2 TRAFFIC CLEANOUT
NOT TO SCALE

SHEET NOTES

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REV	BY	DATE	DRAWING REVISION DESCRIPTION
A	KB	06/08/2020	ISSUE FOR PERMIT

APPROVALS AND DATE OF CURRENT REVISION

CHECKED:	JEG	DATE: 04/03/2020
DISCIPLINE:	JEG	
PM:	A. RICE	

DRAWING CREATION DATE

DRAWN:	KB	DATE: 04/03/2020
DESIGNED:	KB	

PE OR RA REGISTRATION SEAL

PRELIMINARY NOT FOR CONSTRUCTION

Jacobs
111 CORNING ROAD, SUITE 200, CARY, NC 27518 - U.S.A.
Phone: 919.855.9000 FAX: 919.855.5151

JACOBS PROJECT No. 17FFVI01

CLIENT
MilliporeSigma
HPAPI SITE EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

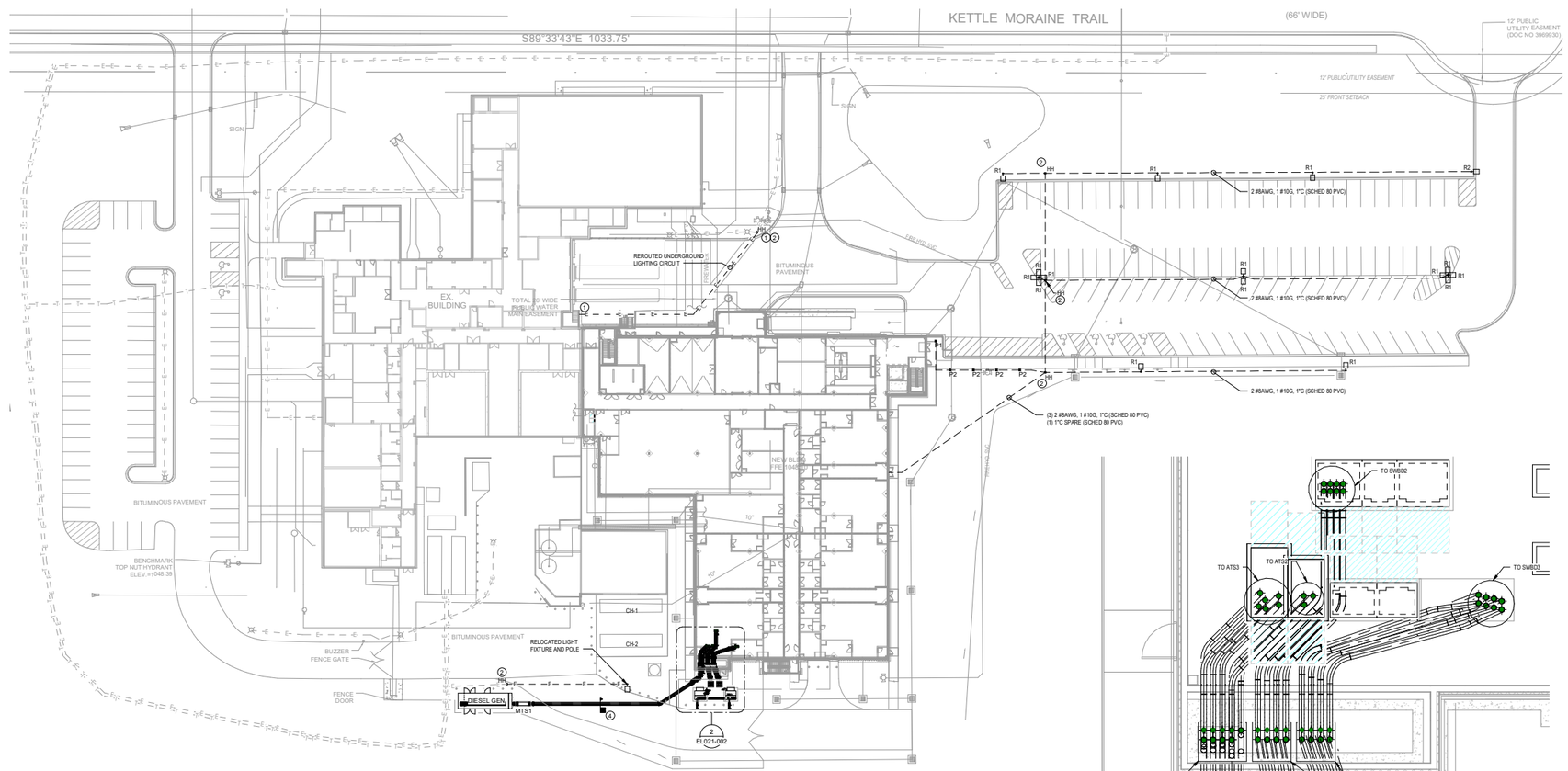
DRAWING TITLE
CIVIL
UTILITY DETAILS

JACOBS DRAWING NUMBER
17FFVI01-CI029-002

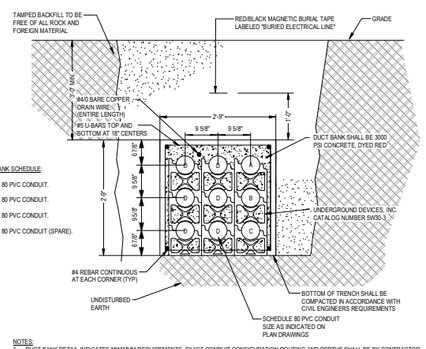
CLIENT DRAWING NUMBER

KEY NOTES:

1. FIELD SURVEY AND CIRCUIT TRACE THE EXISTING UNDERGROUND LIGHTING CIRCUIT BEFORE DIGGING. ROUTE NEW 2 #8AWG, 1 #10G IN 1" UNDERGROUND SCHEDULE 80 PVC CONDUIT TO RELOCATED POLE LIGHT. SPLICE TO EXISTING AREA LIGHTING CIRCUIT IN NEW HAND HOLE.
2. HAND HOLE SHALL BE QUAZITE POLYMER CONCRETE OPEN BOTTOM STYLE ENCLOSURE OR APPROVED EQUAL.
3. REFER TO DETAIL 3/17FFVI01-EL021-002 FOR DUCT BANK INFORMATION.
4. REFER TO DETAIL 4/17FFVI01-EL021-002 FOR DUCT BANK INFORMATION.



1 SITE UTILITY AND LIGHTING PLAN
SCALE: 1" = 30'-0"

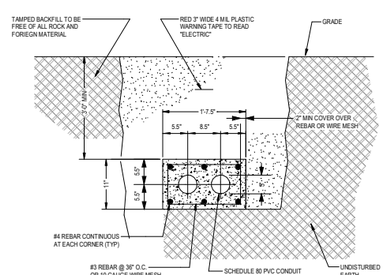


CONDUIT DUCT BANK SCHEDULE:

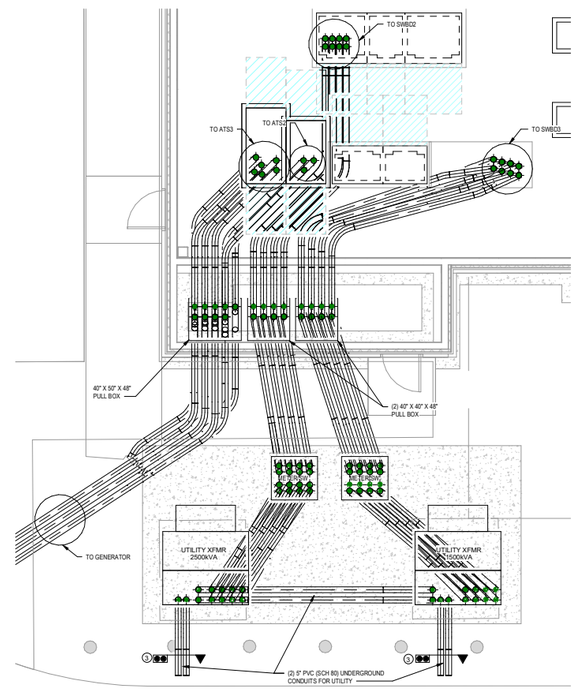
- (A) 5" SCHEDULE 80 PVC CONDUIT.
- (B) 5" SCHEDULE 80 PVC CONDUIT.
- (C) 5" SCHEDULE 80 PVC CONDUIT.
- (D) 5" SCHEDULE 80 PVC CONDUIT (SPARE).

NOTES:
1. DUCT BANK DETAIL INDICATES MINIMUM REQUIREMENTS. EXACT CONDUIT CONFIGURATION ROUTING AND DEPTHS SHALL BE BY CONTRACTOR.
2. MEET ALL OSHA SAFETY STANDARD FOR TRENCHING INCLUDING STABLE SLOPE AND/OR SHORING REQUIREMENTS.

4 REINFORCED CONCRETE ENCASED DUCTBANK - 9 CONDUIT
SCALE: NONE



3 REINFORCED CONCRETE ENCASED DUCTBANK - 2 CONDUIT
SCALE: NONE

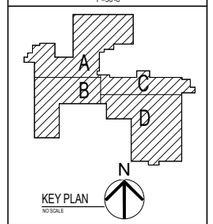


2 ENLARGED SERVICE PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN A CLEAN AND WORKMANLIKE MANNER. CARE SHALL BE EXERCISED TO MINIMIZE ANY INCONVENIENCE OR DISTURBANCE TO OTHER AREAS OF THE BUILDING WHICH ARE TO REMAIN IN OPERATION.
2. REFERENCE DRAWING NO. 17FFVI01-EL021-001 FOR ELECTRICAL SYMBOLS AND ABBREVIATIONS.
3. REFERENCE SINGLE LINE DRAWINGS NO. 17FFVI01-EL022-001 THROUGH 17FFVI01-EL022-004 AND PANELBOARD SCHEDULE DRAWINGS NO. 17FFVI01-EL027-002 THROUGH 17FFVI01-EL027-010 FOR FEEDER AND BRANCH CIRCUIT INFORMATION. PROVIDE WIRE AND CONDUIT AS SPECIFIED AND CONNECT COMPLETE AS SHOWN.
4. ELECTRICAL CONTRACTOR SHALL COORDINATE AS REQUIRED WITH GENERAL CONTRACTOR AND OTHER TRADES TO AVOID INTERFERENCES WITH OTHER TRADES. ALL DEVICES AND EQUIPMENT SHALL HAVE LOCATIONS FIELD VERIFIED PRIOR TO ROUGH-IN.
5. ELECTRICAL CONTRACTOR SHALL REFERENCE ARCHITECTURAL DRAWINGS FOR EQUIPMENT AND MILLWORK DETAILS AND COORDINATE EXACT MOUNTING LOCATIONS AS REQUIRED AND WITH ALL OTHER TRADES.
6. ELECTRICAL CONTRACTOR SHALL MAKE ALL ADJUSTMENTS AND VERIFY LOCATIONS FOR FURNITURE AND OUTLETS SUCH THAT THEY ARE SUITABLE FOR THEIR INTENDED PURPOSE. RACEWAYS SHALL BE CONCEALED WITHIN THE WALLS AND CEILING TO THE EXTENT POSSIBLE.
7. WHERE USED THE TERM "PROVIDE" SHALL MEAN "FURNISH AND INSTALL".
8. DEDICATED EQUIPMENT WORKING CLEARANCES ARE INDICATED WITH HATCHING.

0 30' 60' 90'
1"=30'-0"



KEY PLAN
NO SCALE

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REV	BY	DATE	DRAWING REVISION DESCRIPTION
B	SFK	05/14/2020	ISSUE FOR DESIGN
A	SFK	05/06/2020	ISSUE FOR REVIEW

APPROVALS AND DATE OF CURRENT REVISION

CHECKED:	S. KARIUS		
DISC LEAD:	S. KARIUS	DATE:	05/14/2020
PM:	S. SUNSHINE		

DRAWING CREATION DATE

DRAWN:	D. WILLIAMS	DATE:	
DESIGNED:	C. NGUYEN		

PE OR RA REGISTRATION SEAL

PRELIMINARY NOT FOR CONSTRUCTION

Jacobs
111 CORNING ROAD, SUITE 200, CARY, NC 27518 - U.S.A.
Phone: 919.859.5000 FAX: 919.859.5151

JACOBS PROJECT No. 17FFVI01

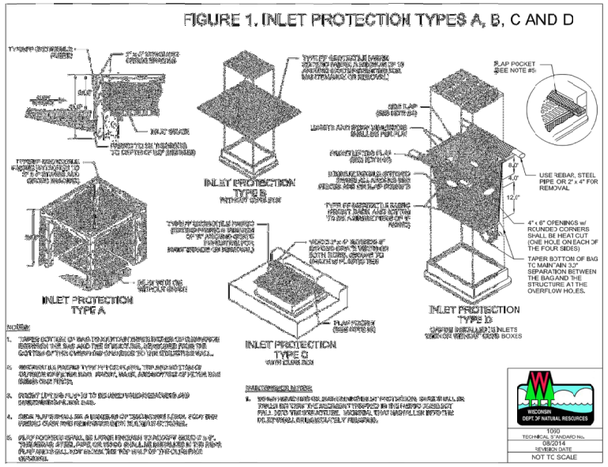
CLIENT
MILLIPORE SIGMA
HPAPI EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

DRAWING TITLE
ELECTRICAL
SITE UTILITY AND LIGHTING PLAN

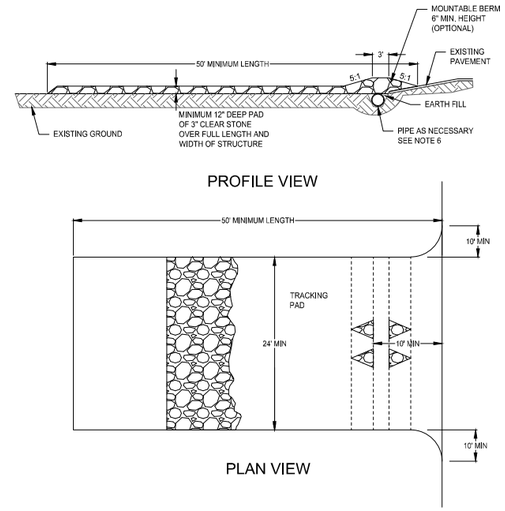
JACOBS DRAWING NUMBER
17FFVI01-EL021-002

CLIENT DRAWING NUMBER

DO NOT SCALE THIS DRAWING



1 INLET PROTECTION
NOT TO SCALE



1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.

2. LENGTH - MINIMUM OF 50'.

3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.

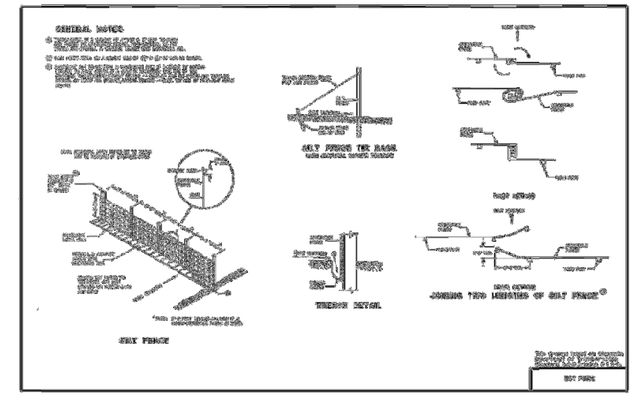
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRICSHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.

5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.

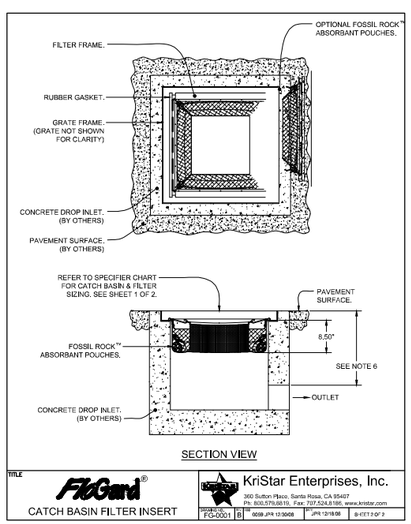
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.

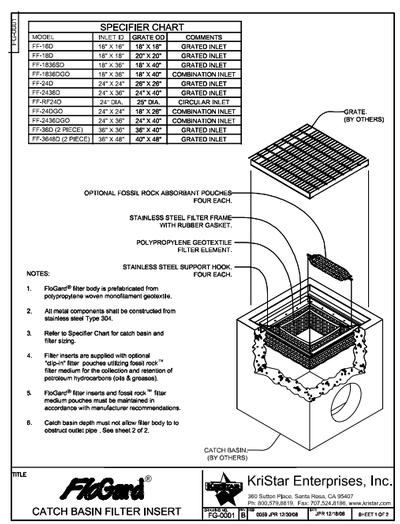
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

2 TRACKING PAD
NOT TO SCALE



3 SILT FENCE
NOT TO SCALE





4 STORM INLET FILTER
NOT TO SCALE

SHEET NOTES

NOTE:
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REV	BY	DATE	DRAWING REVISION DESCRIPTION
A	KB	06/08/2020	ISSUED FOR PERMIT

APPROVALS AND DATE OF CURRENT REVISION

CHECKED:	JEG	DATE: 04/03/2020
DISCIPLINE:	JEG	
PM:	A. RICE	

DRAWING CREATION DATE

DRAWN:	KB	DATE: 04/03/2020
DESIGNED:	KB	

PE OR RA REGISTRATION SEAL

PRELIMINARY NOT FOR CONSTRUCTION

Jacobs
111 CORNING ROAD, SUITE 200, CARY, NC 27518 - U.S.A.
Phone: 919.855.9000 FAX: 919.855.5151

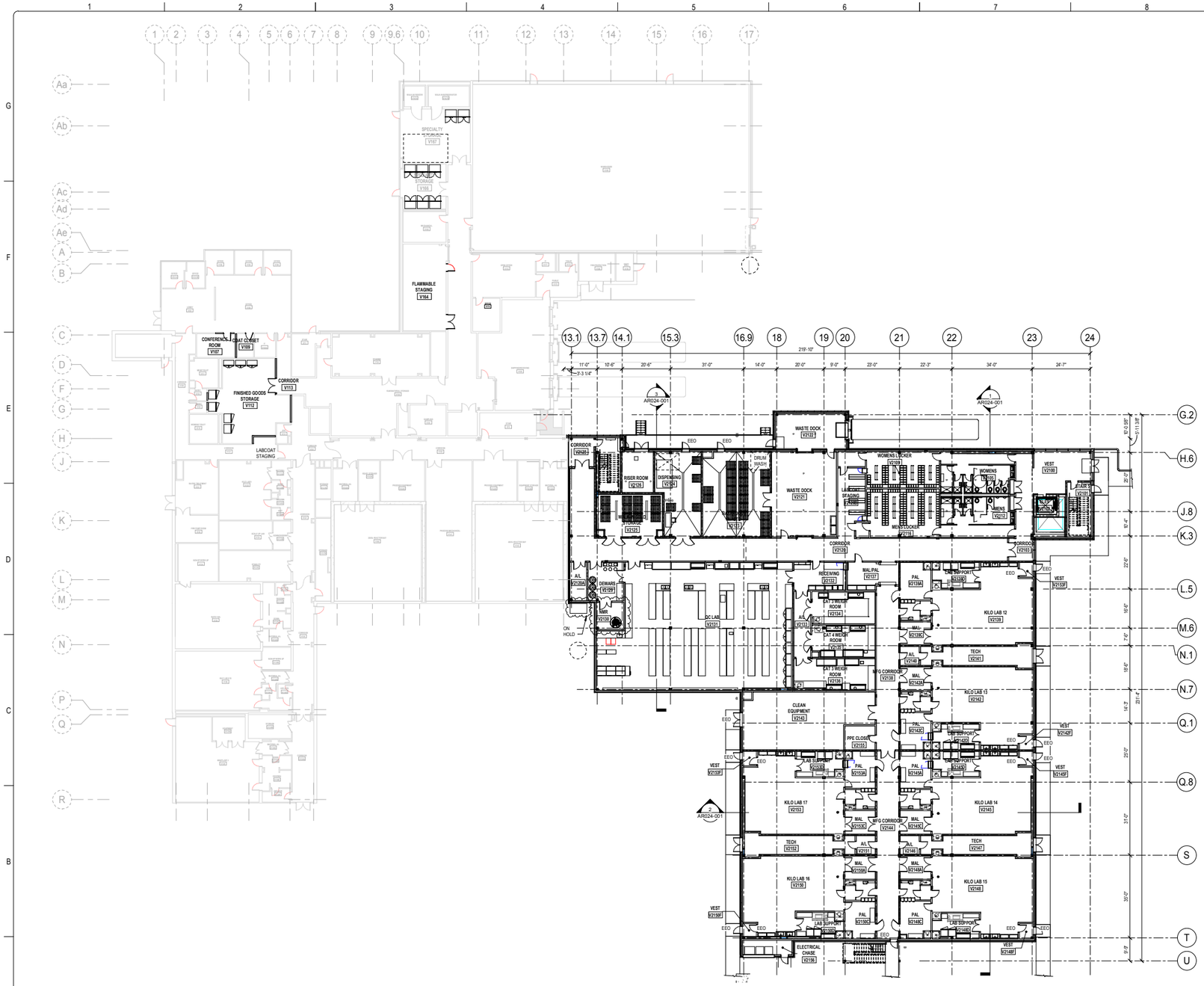
JACOBS PROJECT No. 17FFVI01

CLIENT
MilliporeSigma
HPAPI SITE EXPANSION
5101 KETTLE MORAINE TRAIL
VERONA, WI

DRAWING TITLE
CIVIL
EROSION CONTROL DETAILS

JACOBS DRAWING NUMBER
17FFVI01-CI029-004

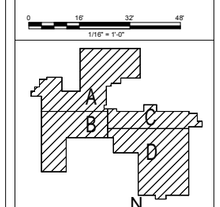
CLIENT DRAWING NUMBER



FIRST FLOOR - OVERALL FLOOR PLAN

SCALE: 1/16" = 1'-0"

DO NOT SCALE THIS DRAWING



KEY PLAN

NO SCALE

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REV	BY	DATE	DRAWING REVISION DESCRIPTION
C	JA	05/14/2020	ISSUE FOR DESIGN
B	MY	04/28/2020	ISSUE FOR REVIEW
A	JA	04/03/2020	ISSUE FOR ESTIMATE

APPROVALS AND DATE OF CURRENT REVISION

CHECKED: M. KELLY	
DISC LEAD: M. KELLY	DATE: 05/14/2020
PM: S.SUNSHINE	

DRAWING CREATION DATE

DRAWN: J. ANDERSON	
DESIGNED: J. ANDERSON	DATE: 05/14/2020

PE OR RA REGISTRATION SEAL

PRELIMINARY NOT FOR CONSTRUCTION

Jacobs
111 CORNING ROAD, SUITE 200, CARY, NC 27518 - U.S.A.
Phone: 919.859.5000 FAX: 919.859.5151

JACOBS PROJECT No. 17FFVI01

CLIENT

MILLIPORE SIGMA

HPAPI EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

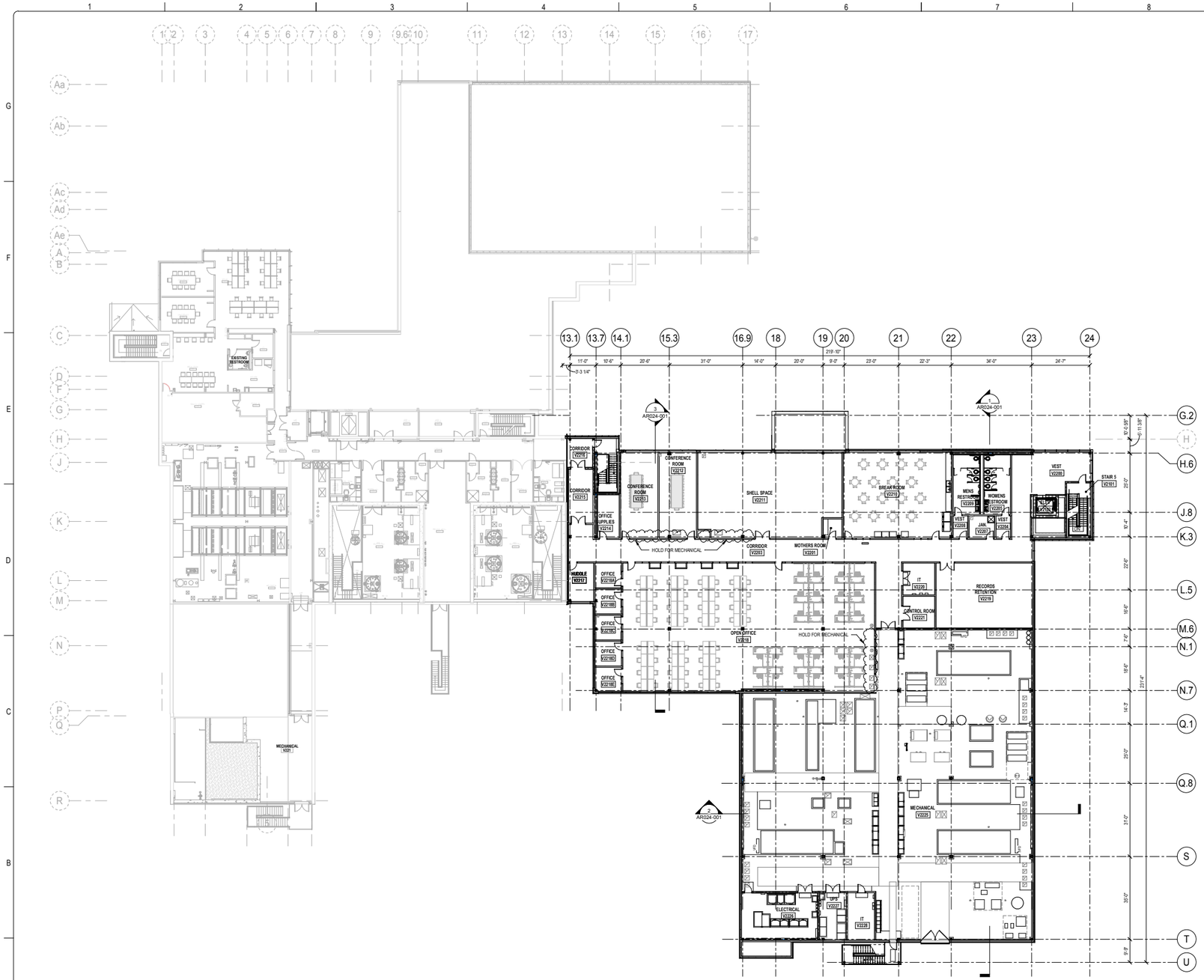
DRAWING TITLE

ARCHITECTURAL
OVERALL FIRST FLOOR PLAN

JACOBS DRAWING NUMBER

17FFVI01-AR021-100

CLIENT DRAWING NUMBER



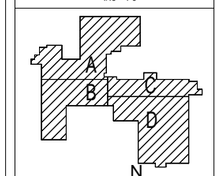
SECOND FLOOR - OVERALL FLOOR PLAN

SCALE: 1/16" = 1'-0"

DO NOT SCALE THIS DRAWING

0 16' 32' 48'

1/16" = 1'-0"



KEY PLAN

NO SCALE

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C	JA	05/14/2020	ISSUE FOR DESIGN
B	MY	04/28/2020	ISSUE FOR REVIEW
A	JA	04/03/2020	ISSUE FOR ESTIMATE

APPROVALS AND DATE OF CURRENT REVISION

CHECKED: M. KELLY
DISC LEAD: M. KELLY
PM: S.SUNSHINE
DATE: 05/14/2020

DRAWING CREATION DATE

DRAWN: J. ANDERSON
DESIGNED: J. ANDERSON
DATE: 05/14/2020

PE OR RA REGISTRATION SEAL

PRELIMINARY
NOT FOR CONSTRUCTION

Jacobs
111 CORNING ROAD, SUITE 200, CARY, NC 27518 - U.S.A.
Phone: 919.859.5000 FAX: 919.859.5151

JACOBS PROJECT No. 17FFVI01

CLIENT

MilliporeSigma

HPAPI EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

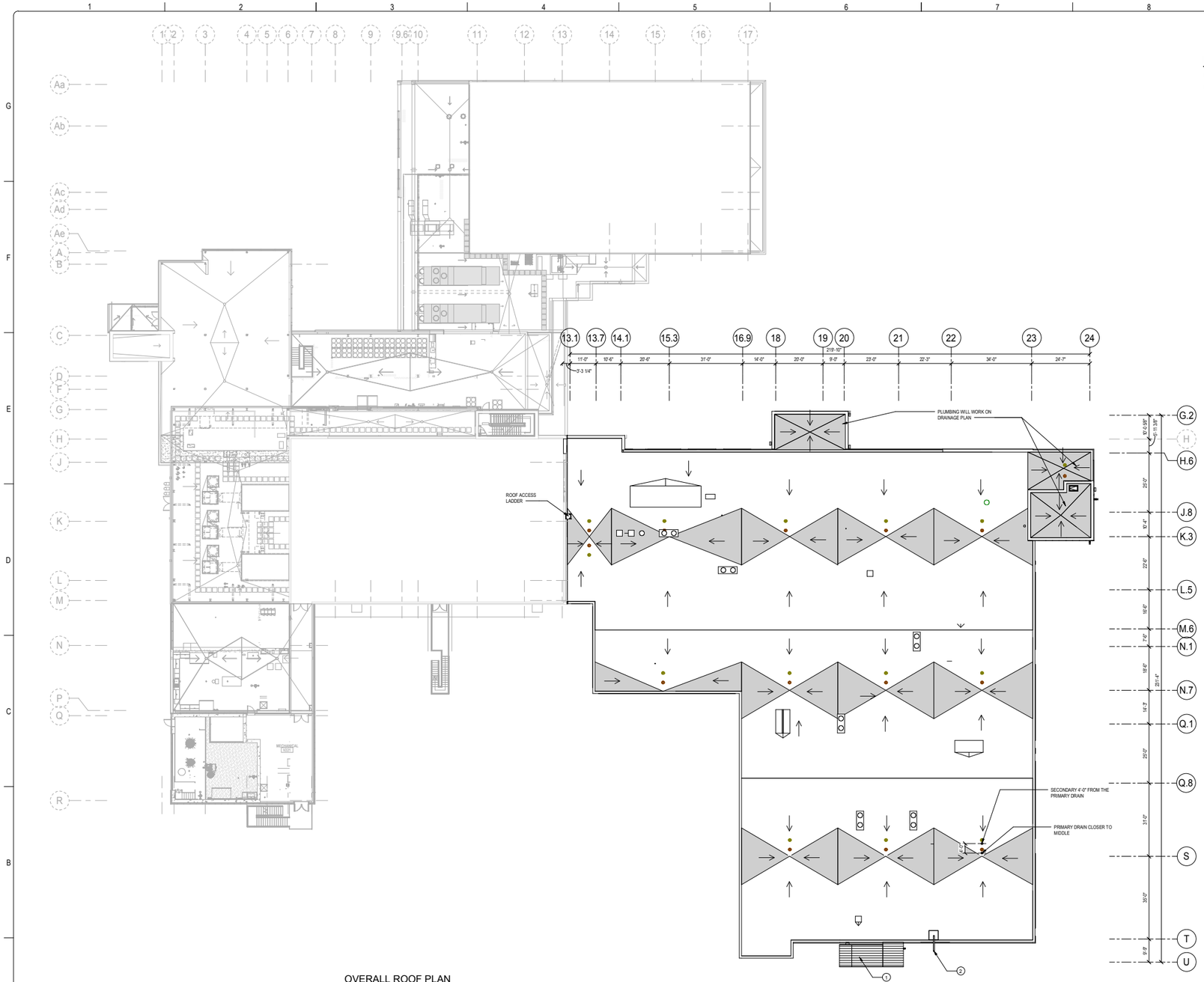
DRAWING TITLE

ARCHITECTURAL
OVERALL SECOND FLOOR PLAN

JACOBS DRAWING NUMBER

17FFVI01-AR021-200

CLIENT DRAWING NUMBER



OVERALL ROOF PLAN

SCALE: 1/16" = 1'-0"

ROOF PLAN KEY NOTES

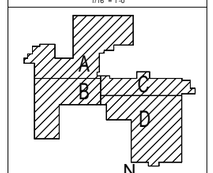
1. ALUMINUM CANOPY SYSTEM
2. ROOF DAVIT/HOIST

ROOF NOTES

TAPERED INSULATION NOMINAL 1/4 INCH PER FOOT SLOPE

BASE ROOF INSULATION SHALL BE 2 LAYERS OF 3 INCH POLYISO

0 16' 32' 48'
1/16" = 1'-0"



KEY PLAN
NO SCALE

NOTE:
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REV	BY	DATE	DRAWING REVISION DESCRIPTION
C	JA	05/14/2020	ISSUE FOR DESIGN
B	MY	04/28/2020	ISSUE FOR REVIEW
A	JA	04/03/2020	ISSUE FOR ESTIMATE

APPROVALS AND DATE OF CURRENT REVISION

CHECKED: M. KELLY
DISC LEAD: M. KELLY
PM: S.SUNSHINE
DATE: 05/14/2020

DRAWING CREATION DATE

DRAWN: J. ANDERSON
DESIGNED: J. ANDERSON
DATE: 05/14/2020

PE OR RA REGISTRATION SEAL

PRELIMINARY NOT FOR CONSTRUCTION

Jacobs
111 CORNING ROAD, SUITE 200, CARY, NC 27518 - U.S.A.
Phone: 919.859.5000 FAX: 919.859.5151

JACOBS PROJECT No. 17FFVI01

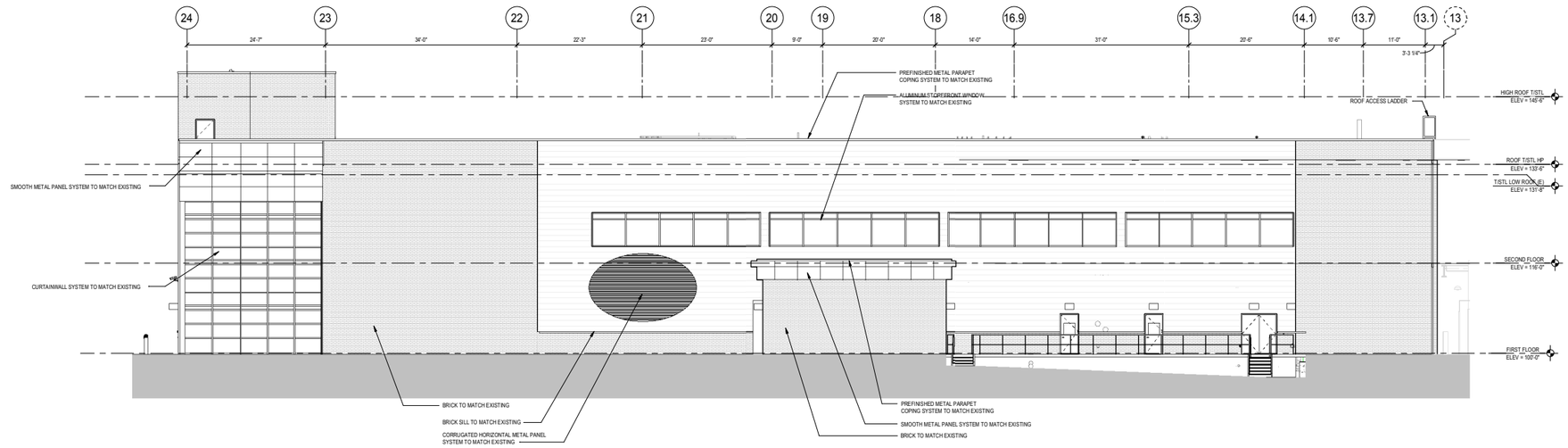
CLIENT
MilliporeSigma
HPAPI EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

DRAWING TITLE
ARCHITECTURAL
OVERALL ROOF PLAN

JACOBS DRAWING NUMBER
17FFVI01-AR021-300

CLIENT DRAWING NUMBER

DO NOT SCALE THIS DRAWING



1 NORTH ELEVATION
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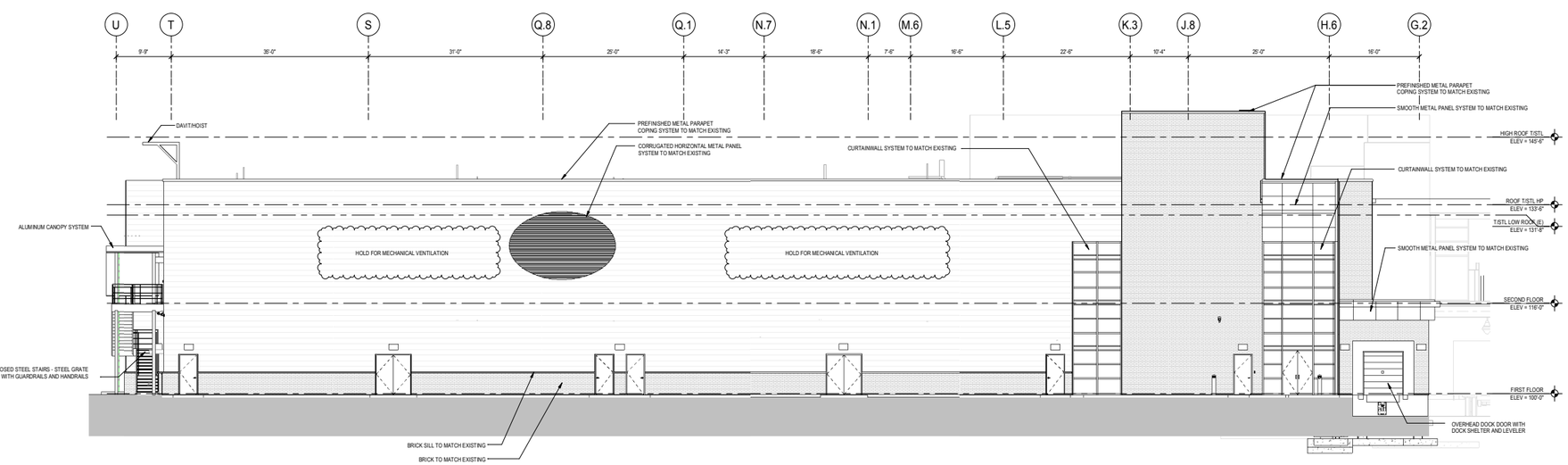

2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

DO NOT SCALE THIS DRAWING

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1/8" = 1'-0"

NOTE:
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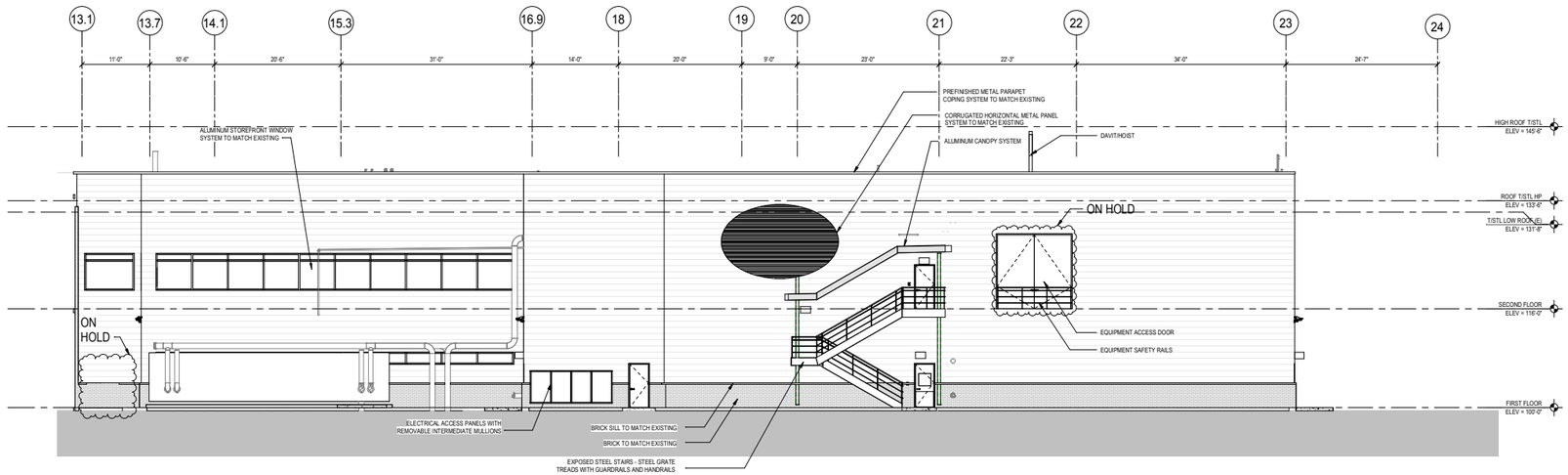
JACOBS PROJECT No. 17FFVI01

CLIENT
MilliporeSigma
HPAPI EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

DRAWING TITLE
ARCHITECTURAL
EXTERIOR ELEVATIONS

JACOBS DRAWING NUMBER
17FFVI01-AR025-001

CLIENT DRAWING NUMBER



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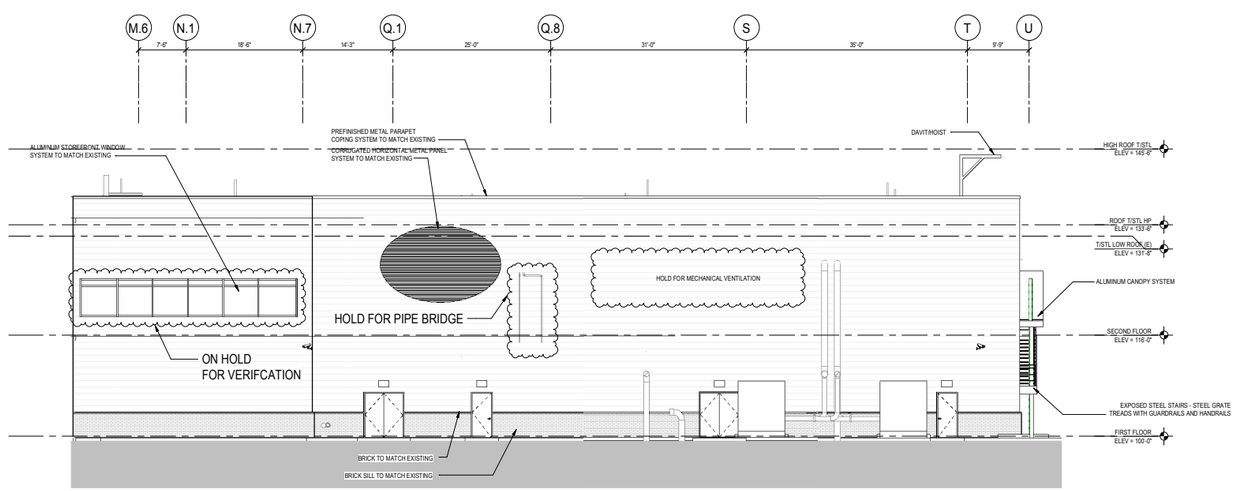

2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

DO NOT SCALE THIS DRAWING

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1/8" = 1'-0"

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PM: S.SUNSHINE	

DRAWING CREATION DATE

DRAWN: J. ANDERSON	DATE: 05/14/2020
DESIGNED: J. ANDERSON	

PE OR RA REGISTRATION SEAL

PRELIMINARY NOT FOR CONSTRUCTION

Jacobs
111 CORNING ROAD, SUITE 200, CARY, NC 27518 - U.S.A.
Phone: 919.859.5000 FAX: 919.859.5151

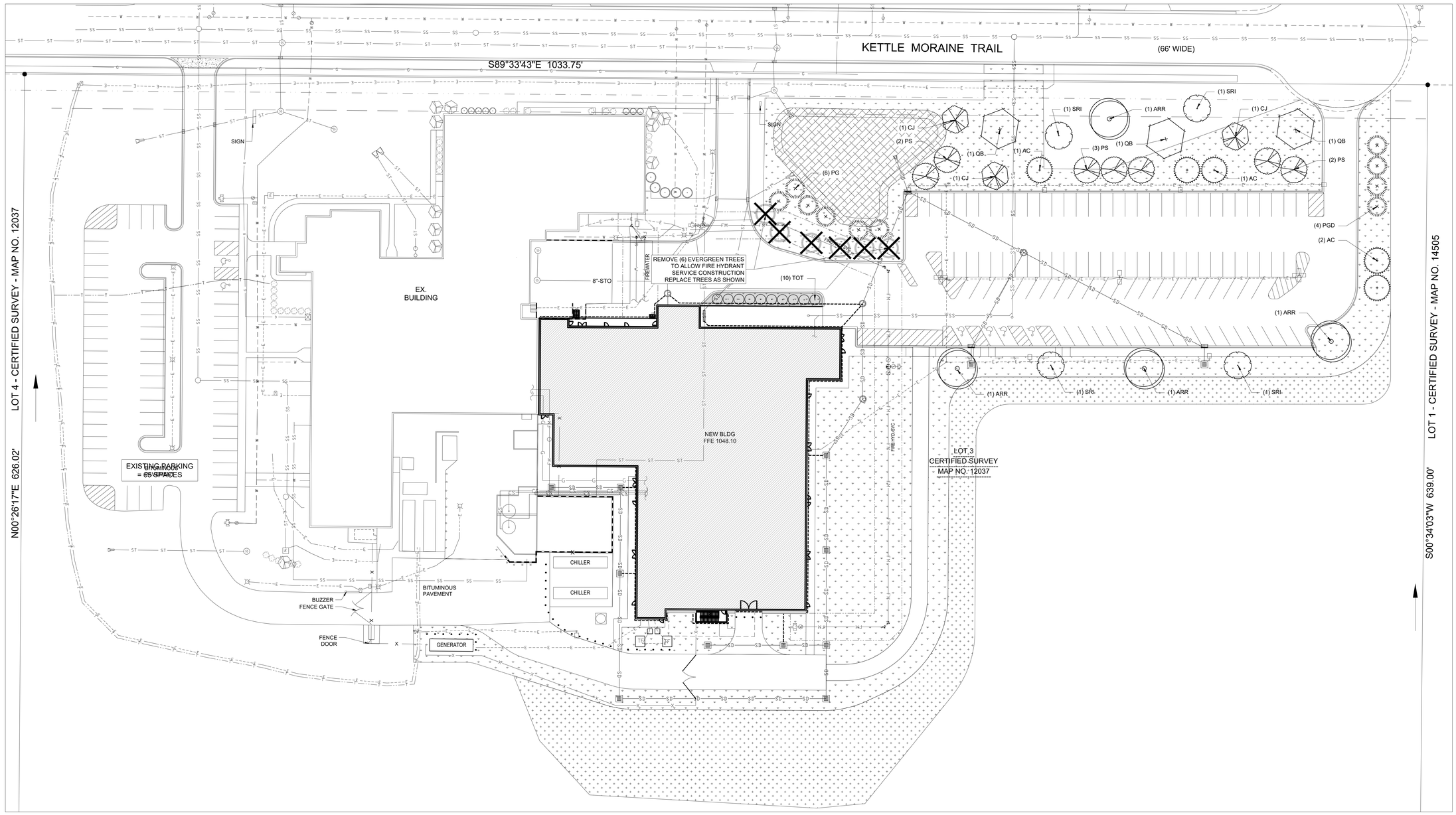
JACOBS PROJECT No. 17FFVI01

CLIENT
MilliporeSigma
HPAPI EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

DRAWING TITLE
ARCHITECTURAL
EXTERIOR ELEVATIONS

JACOBS DRAWING NUMBER
17FFVI01-AR025-002

CLIENT DRAWING NUMBER



SHEET NOTES

EXISTING SITE PLAN LEGEND

- LIGHT POLE
- SIGN
- INLET
- CATCHBASIN
- SANITARY MANHOLE
- EXISTING HYDRANT
- EXISTING WATER VALVE
- TELEPHONE
- ELECTRIC
- GAS
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- BUILDING SETBACK
- EXISTING FIREWATER
- EXISTING CONTOUR
- ELECTRICAL BOX
- TELEPHONE PEDESTAL
- GAS METER
- EXISTING SHRUB
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- CARD READER
- CHAINLINK FENCE
- CURB AND GUTTER

PROPOSED SITE LEGEND

- GRASS / LANDSCAPE
- STORM SEWER CATCH BASIN
- STORM SEWER MANHOLE
- STORM SEWER END WALL AND RIP RAP APRON
- POST INDICATOR VALVE
- FIRE HYDRANT ASSEMBLY
- WATER VALVE
- FITTINGS
- PROPOSED ELECTRICAL LINE
- PROPOSED CHEMICAL SEWER
- PROPOSED CHAIN LINK FENCE
- PROPOSED FORCE MAIN LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- PROPOSED NATURAL GAS
- PROPOSED SWALE
- LIMIT OF DISTURBANCE
- TRENCH DRAIN
- LIGHTS

N

0 30' 60' 90'
1"=30'

NOTE:
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REV	BY	DATE	DRAWING REVISION DESCRIPTION
A	MS	06-23-2020	

APPROVALS AND DATE OF CURRENT REVISION

CHECKED:	MS	DATE: 06-23-2020
DISCIPLINE:	MS	
PM:	BH	

DRAWING CREATION DATE

DRAWN:	MS	DATE: 06-23-2020
DESIGNED:	MS	

PE OR RA REGISTRATION SEAL

PRELIMINARY
NOT FOR CONSTRUCTION

Jacobs
111 CORNING ROAD, SUITE 200, CARY, NC 27518 - U.S.A.
Phone: 919.859.5000 FAX: 919.859.5151

JACOBS PROJECT No. 17FFVI01

CLIENT
MilliporeSigma
HPAPI SITE EXPANSION
1101 KETTLE MORAINE TRAIL
VERONA, WI

DRAWING TITLE
LANDSCAPE PLAN

JACOBS DRAWING NUMBER
17FFVI01-CI023-001

CLIENT DRAWING NUMBER

LANDSCAPE POINT REQUIREMENT SCHEDULE

POINT REQUIREMENT 1: BUILDING FOUNDATION REQUIREMENT

ZONING:	SUBURBAN INDUSTRIAL
LENGTH OF BUILDING ADDITIONS FOUNDATIONS:	850 LF
REQUIREMENT FORMULA:	40 POINTS / 100 LF
POINTS REQUIRED:	340 POINTS

POINT REQUIREMENT 2: DEVELOPED LOTS (BUILDING SQ.FT.) REQUIREMENT

ZONING:	SUBURBAN INDUSTRIAL
FLOOR AREA OF BUILDING ADDITIONS:	35,064 SQ. FT.
REQUIREMENT FORMULA:	10 POINTS / 1,000 SQ. FT.
TOTAL POINTS REQUIRED:	351 POINTS

POINT REQUIREMENT 3: STREET FRONTAGE REQUIREMENT

ZONING:	SUBURBAN INDUSTRIAL
LENGTH OF ADDITIONAL FRONTAGE:	335 LF
REQUIREMENT FORMULA:	40 POINTS / 100 LF
POINTS REQUIRED:	134 POINTS

POINT REQUIREMENT 4: PAVED AREA REQUIREMENT

ZONING:	SUBURBAN INDUSTRIAL
AREA OF ADDITIONAL PAVEMENT:	47,975 SQ. FT.
REQUIREMENT FORMULA:	80 POINTS / 10,000 SQ. FT.
POINTS REQUIRED:	384 POINTS

TOTAL LANDSCAPE POINTS REQUIRED = 1,209 POINTS
TOTAL LANDSCAPE POINTS PROVIDED = 1,440 POINTS

PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND	NOTES
CLIMAX TREES								
ARR	Acer rubrum 'Redpointe'	Redpointe Maple	4	75	300	2"	B&B	
TALL DECIDUOUS TREES								
CJ	Cercidiphylum japonicum	Katsura Tree	3	30	90	1.5"	B&B	
SRI	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	4	30	120	1.5"	B&B	
QB	Quercus bicolor	Swamp White Oak	3	30	90	1.5"	B&B	
TALL EVERGREEN TREES								
AC	Abies concolor	White Fir	5	40	200	5' TALL	B&B	
PGD	Picea glauca 'Densata'	Black Hills Spruce	4	40	160	5' TALL	B&B	
PS	Pinus strobus	Eastern White Pine	7	40	280	5' TALL	B&B	
MEDIUM EVERGREEN TREES								
TOT	Thuja occidentalis 'Techny'	Techny Arborvitae	10	20	200	4' TALL	B&B	
				TOTAL:	1440			
REPLACEMENT TREES								
PG	Picea glauca 'Densata'	Black Hills Spruce	6	0	0	5' TALL	B&B	

SITE LANDSCAPE PLAN - GENERAL NOTES

1. CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL DECIDUOUS TREES OUTSIDE PLANTING BEDS SHALL HAVE A 4' DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY A 4" DEEP TRENCH CUT EDGE.
4. ALL EVERGREEN TREES OUTSIDE PLANTING BEDS SHALL HAVE A 8' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY A 4" DEEP TRENCH CUT EDGE.
5. ALL LANDSCAPE AREAS NOT INCLUDED IN PLANTING BEDS, INFILTRATION BASINS, OR STORMWATER MANAGEMENT PONDS SHALL BE RESTORED WITH TURF GRASS.
6. BIORETENTION BASIN PLANT MIX SHALL CONFORM TO THE SPECIFICATIONS OF THE ***RAINWATER RENEWAL GARDEN FOR SUNNY SITES*** AS MANUFACTURED BY ***AGRECOL NATIVE NURSERY (www.agrecol.com)*** OR APPROVED EQUAL.
7. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

GROUND COVER LEGEND

- TURF GRASS - SEED OR SOD
- ***SHORTGRASS PRAIRIE FOR MEDIUM SOILS*** SEED MIX AS MANUFACTURED BY **AGRECOL**
- BIORETENTION BASIN PLANT MIX
- 3" DEPTH WASHED STONE MULCH OVER FILTER FABRIC

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.

THIS PLAN IS NOT INTENDED TO BE USED FOR BUILDING OR ADJACENT FACILITY LAYOUT. REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DRAWINGS FOR FINAL LAYOUT.

Planning Report

City of Verona

Plan Commission 7-6-2020

410 & 420 W. Verona Ave.

Planned Unit Development – Concept Plan

Summary: The Applicant submitted a request for planned unit development (PUD) concept plan review for 410 and 420 West Verona Avenue. The Applicant proposes to construct a four (4) story, 79-unit apartment building with 9,319 square feet of commercial.

Property Location: 410 and 420 West Verona Avenue

Property Owners: SMS Main Street LLC
410 W. Verona Ave.
Verona, WI 53593

Old National Bank
420 W. Verona Ave.
Verona, WI 53593

Applicant: Northpointe Development Corp
230 Ohio Street
Oshkosh, WI 54902

Existing Zoning: Urban Commercial (UC), Downtown Design and Use Overlay District

Existing Land Use: In-Vehicle Sales or Service (Bank) and Indoor Entertainment (Restaurant)

Proposed Land Use: Commercial and Apartments

Figure 1 – Location Map

Site Description:

Northpointe Development ("Application") has submitted a request to construct 9,319 square feet of commercial and 79 apartment units at 410 and 420 West Verona Avenue ("Property" or "Subject Property"). The Property is zoned Urban Commercial (UC) and is located within the Downtown Design and Use Overlay District. This is being reviewed as a Planned Unit Development (PUD) as exemptions will be requested.

Currently, the Property contains the Klassik Tavern and Old National Bank with drive-through bank tellers.

Development Process:

Any planned unit development for this Property will have to go through the following development process and meet all of the requirements prior to receiving a building permit. Some of these steps may occur concurrently.

- **Planned Unit Development (PUD)** – This is necessary as zoning exemptions are required for the project, which includes a four step review process.

    - *Step 1 – Pre-Application Conference:* The applicant discusses the project with Staff prior to moving on to the Plan Commission. Staff provides the applicant with initial comments on the plan, which was completed and is ongoing.

    - *Step 2 - Concept Plan:* An applicant would create a plan that shows conceptually how the Property would be laid out with transportation (i.e. roads, paths, etc.), stormwater management areas, parkland dedication, buildings (placement and design), and various land uses. This is a way to gain feedback from Planning Staff and the Plan Commission to determine if there is consensus on the concept, which is the current Application.

    - *Step 3 – General Development Plan (GDP):* The intent of the GDP is provide general, but more detailed than the concept plan, about the proposed development. A public hearing is held before the Plan Commission. The City notifies all properties, with a letter, that are located within 200-feet of the property that is requesting the GDP. The Plan Commission makes a recommendation to the Common Council. If the GDP is approved, this step provides the zoning entitlements to the project.

    - *Step 4 – Precise Implementation Plan (PIP):* The final step in the PUD process is the final approval of all plans including site plan, landscaping, stormwater, photometric plans, building design, etc. A public hearing is held before the Plan Commission. The City notifies all properties, with a letter, that are located within 200-feet of the property that is requesting the PIP. The Plan Commission makes a recommendation to the Common Council. If the PIP is approved, the applicant can proceed to obtain building permits and start construction of the project.

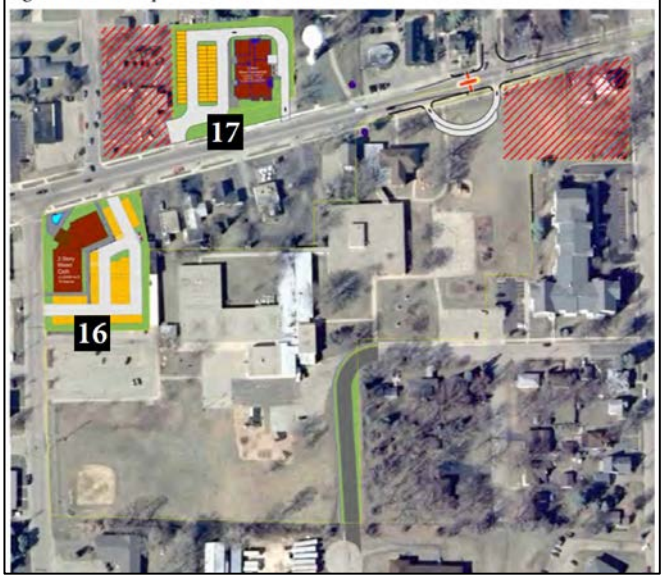
- **Land Division** – An applicant will need to submit a certified survey map and/or plat to combine property lines. This would go before the Plan Commission and the Common Council for their approvals.

Downton Mobility and Development Plan:

The Property is located in the Downtown Mobility and Development Plan ("Plan"), which was adopted in 2014. The Property is discussed on page 17 of the Plan and states:

> "The majority of the commercial properties will remain for the foreseeable future, excluding two sites (415 W. Verona Avenue and 420 W. Verona Avenue). These properties were recommended as redevelopment sites due to their size, location, and ownership. …The other site (#17) includes a bar, parking and undeveloped land. If the Anchor Bank property (420 W. Verona Avenue) were included in this redevelopment, a significantly larger development is possible. In this case, a new building should anchor the Rita and Verona intersection. Figure 3.16 illustrates how both of these sites could redevelop with the parking located to the site and rear of the sites."

Figure 3.16: Concept Plan - West Verona Avenue



3-story Mixed Use (8,500 sq.ft / 12 Units)
62 spaces

Although the Plan shows a redevelopment design for the Klassik Tavern property in Figure 3.16, the Applicant was able to include the Old National Bank property, which is the location of the former Anchor Bank property discussed in the Plan. The Applicant is proposing to have commercial at the corner with Rita Avenue and West Verona Avenue that will include Old National Bank as a tenant along with other new tenants. The Plan discusses how this site in 2014 has some viability for reinvestment or redevelopment due to low improvement values (p. 62).

Tax Incremental District 9:

The Common Council approved the creation of a 14 acre Tax Incremental District 9 (TID) in September of 2017 as depicted in Figure 2. The proposed Application is located in this TID as well as the approved Sugar Creek Commons development south of West Verona Avenue. The purpose of the TID is to pay for the cost of public improvements such as public infrastructure and to provide incentives necessary to allow redevelopment to occur.

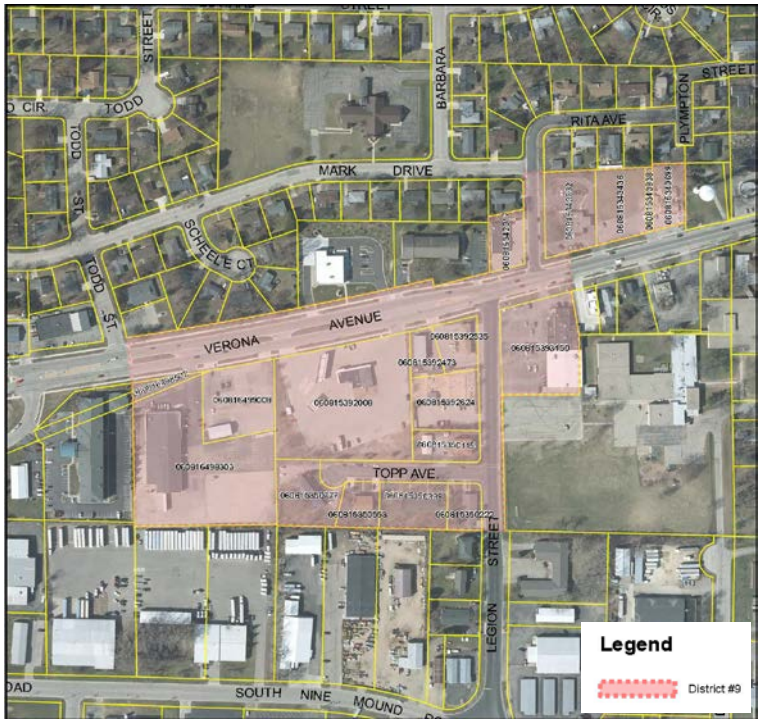


Figure 2 - Tax Increment District

Planning Review:

Bulk Requirements:

Staff reviewed the bulk requirements using the non-residential bulk requirements for the UC Zoning District as the first floor is predominately commercial. The Applicant proposes a sixteen (16) foot front setback, which will meet the minimum setback of fifteen (15) feet and a maximum setback of twenty-five (25) feet in the Downtown Design and Use Overlay District. The Applicant is requesting an exception for the maximum height requirement of forty-five (45) feet to allow for fifty (50) feet to the upper parapet.

Access/ Parking:

The Applicant proposes two (2) new access points and removes two (2) access points as depicted in Figure 3. The Applicant proposes to close the large access point in front of Klassik Tavern on West Verona Avenue and maintain the existing access point for Old National Bank on West Verona Avenue. The access point closest to the intersection of West Verona Avenue and Rita Avenue will be removed and the remaining existing access point on Rita Avenue will move to the north. Staff recommends the Applicant continue to explore moving the West Verona Avenue access point further to the east to avoid potential intersection and turning conflicts with Rita Avenue and Legion Street.

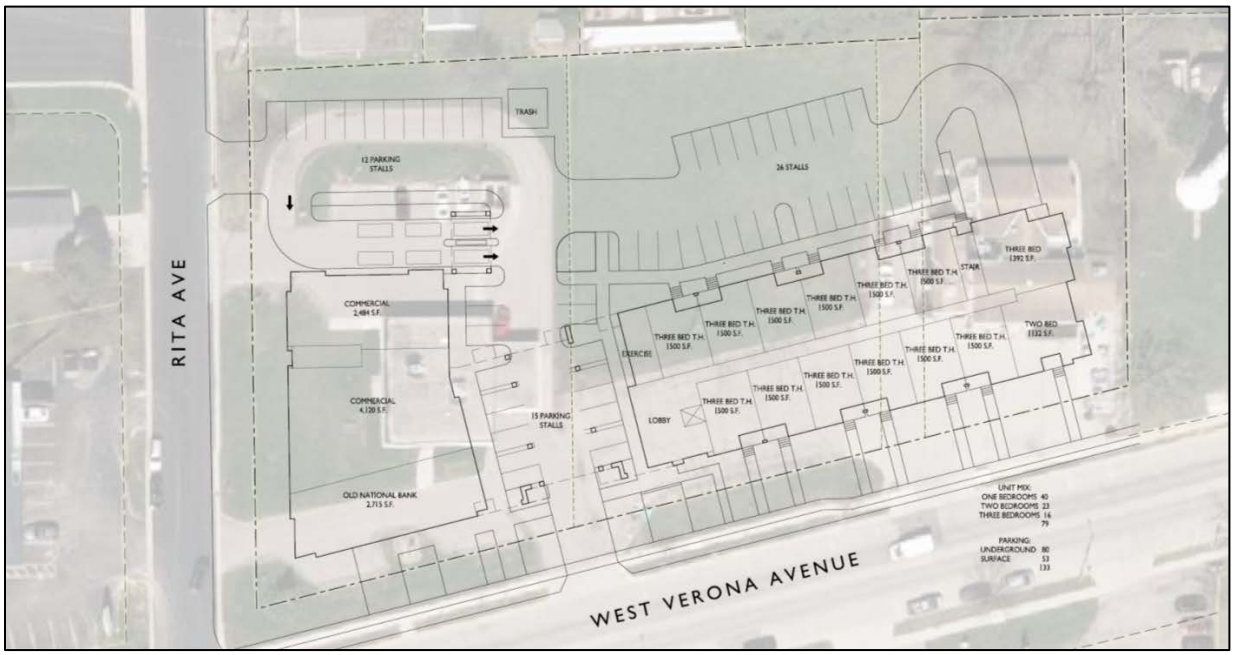


Figure 3 - Concept Plan with aerial

The Applicant is proposing 133 parking stalls, which includes eighty (80) underground and fifty-three (53) surface stalls. The Applicant has calculated the required parking spaces to be 186 stalls for the apartments and 31 stalls for the commercial space. The City has allowed one (1) underground parking space for each apartment unit through the PUD process. The standard parking calculation for an indoor sales or service facility per the zoning ordinance is one (1) parking space for every 300 square feet of gross floor area (Sec. 13-1-89 (c)(4)), which is 31 stalls. If a parking exemption is granted, the Applicant would need 79 underground parking stalls and a minimum of 31 surface parking stalls for a total of 110 stalls. Staff recommends the parking on the site remain as proposed as Old National Bank is the only known commercial user and guests visiting the apartments will need parking. Limited street parking is available in the area but should not be relied upon to fulfill the parking requirements for this development.

The Application includes sidewalks connecting Old National Bank as well as residences to West Verona Avenue sidewalks. Bicycle facilities are unknown at this time. Staff recommends bicycle parking to be included in subsequent applications.

Affordability/Timeline:

The Applicant is proposing that most of the multi-family units will be rent restricted for a minimum of thirty (30) years and available to households earning 30-60% of the County median income as depicted in Table 1. The Applicant plans to apply for grant funds from Dane County in July of 2020 followed by applying to WHEDA for federal tax credits in December of 2020. Pending the GDP approval, the Applicant will seek PIP approval in the spring of 2021.The Applicant hopes to begin construction in the fall of 2021 pending financing and approvals are completed.

Table 1: County Median Income

County Median Income	# of People in the Household				# Units per Bedroom		
					Estimated Rate per unit		
	1	2	3	4	1	2	3
30%	$21,030	$24,030	$27,030	$30,030	16		
					$479		
50%	$35,050	$40,050	$45,050	$50,050	9	10	13
					$835	$1,000	$1,150
60%	$42,060	$48,060	$54,060	$60,060	12	4	
					$1,000	$1,200	
Market Rate					3	9	3
					$1,100	$1,400	$1,675
Total					**40**	**23**	**16**

Design:

Conceptual building floor plans and exterior designs were included in the concept submittal. In general, the building would be a fifty (50) feet tall, which exceeds the maximum height requirement for the Downtown Design and Use Overlay Zone. The rendering shows brick depicted in Figure 4 as a darker color and potentially a plank or siding for the lighter colored areas. The Applicant has asked for an exemption to exceed the height requirement by five (5) feet. The building fronts onto West Verona Avenue and has allowed space between the single-family homes to the north and the building. The building will appear shorter due to stepping down the height of the building towards the ends of the building and creating undulations with the porches and brick. Staff encourages the Plan Commission to review the conceptual building designs and provide feedback to the Applicant.

Figure 4 – Building Rendering

Residential Phasing Policy:

Effective October 1, 2012, the City began a Residential Development Policy limiting approvals of multi-family developments to a target range between 25 and 50 new multi-family units each year. One (1) of the exceptions to this policy is for mixed-use development. The policy states:

> "At the discretion for the Common Council, exceptions to the target limit for newly approved residential units may be made for commercial development that include residential uses, also known as "mixed use development proposals". The City is particularly supportive of mixed-use development in the Downtown area that can accomplish the City's goals of Downtown redevelopment and revitalization and therefore may exempt such projects from the phasing limits".

The proposed development has the potential to be exempted from the phasing policy at the discretion of the Common Council. The phasing policy does not distinguish between market rate and affordable residential units. As discussed at the beginning of the Staff report, the City has approved the Plan and TID 9 to support redevelopment of the Property and properties in the vicinity of this Property.

Staff Comments:

In general, Staff is receptive to the Application. Additional design details are necessary to provide a full review and analysis of the project. Generally, Staff is comfortable with the proposed use and redevelopment on the Property. Staff recommends the Applicant host a neighborhood meeting after the Common Council initial review of the project.

Recommendation:

Staff recommends the Plan Commission review the submitted materials and provide feedback to the applicant.

Prepared by: Katherine Holt KH
Community Development Specialist

Submitted by: Adam Sayre, AICP AS
City Administrator

June 3, 2020

knothe • bruce
ARCHITECTS

City of Verona
Plan Commission
111 Lincoln Street
Verona WI 53593

Re: Narrative – Planned Unit Development (PUD)
Klassik and Old National Bank Site
410 & 420 W Verona Ave
Verona, WI

Plan Commission Recommendation Date: July 6, 2020

The following is submitted together with the site plan and application for Plan Commission consideration.

Organizational Structure:

Developer: Northpointe Development Corp
230 Ohio Street
Oshkosh, WI 54902
Phone: 608-334-5665
Contact: Sean O'Brien
sean@northpointedev.com

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste. 201
Middleton, WI 53562
Phone: 608-836-3690
Contact: Kevin Burow
kburow@knothebruce.com

Project Description:

The property legal descriptions are: JAMIESON ADDN PRT LOT 13 BEG SW COR SD LOT TH N75DEGE 150 FT TH N 216.2 FT TH S87DEGW 146.02 FT TH S 246.04 FT TO POB, JAMIESON ADDN LOT 13 EXC ELY 20 FT THF, R839/661 & R881/656, JAMIESON ADDN ELY 20 FT LOT 13 and ZAVADA-STEINHOFF ADDN OUTLOT 109; Parcel numbers: 060815343632, 060815343436, 060815343838 and 060815340699.

The properties are currently zoned Urban Commercial and is consistent with the current City Land Use Map.

City owned land abuts the site on the east side. Existing single-family housing is located to the north and west. Commercial properties are located to the south, across West Verona Ave.

The proposed project is a mixed-use residential development consisting of a single building and will be completed in a single phase. The building is a four story, 79-unit apartment building with an underground parking garage and a mixture of residential units and commercial space on first floor. A portion of the commercial space is slated as the new home to the Old National Bank, so will have a connected, 2-lane drive-through.

Standards

The project is being proposed as a PUD to allow for this Mixed-use development.

This project will not substantially impair or diminish the use, value and enjoyment of other properties within this neighborhood. Quite the opposite. This project will enhance the character of the neighborhood and bring additional opportunities for housing.

The site has been designed to facilitate safe pedestrian and vehicular traffic flow. Accessible routes will be provided to residential and commercial spaces.

The project will comply with the City Erosion Control and Stormwater Management requirements. Infiltration areas will be provided as required.

Each unit has a private patio or deck. Other amenities include a community room, roof terrace and an exercise room.

The anticipated development schedule is to start construction in the Fall of 2021 with occupancy of the buildings in the Fall of 2022. Most of the units will be rent restricted for a minimum of 30 years and available to households earning 30-60% of the county median. The project will target households of varying sizes as well as veterans. The developer plans to apply for TIF funds from the City to accommodate for the affordability as well as the significant amount retail of space. The intent for the TIF funds will be to bridge the funding gap in the project and allow for the retail spaces to be rented to smaller local businesses. Old National Bank has made a commitment to Verona and plans to be the anchor tenant in the project. The developer will also apply for grant funds from Dane County in July of 2020 followed by applying to WHEDA for Federal 9% tax credits in December 2020. The developer will seek Precise Implementation Plan approval in the Spring of 2021 if able to line up all the required financing.

Requested Exceptions:

- Setbacks - The front setback (West Verona Ave) is required to be 35' and we are currently at 16'.
- Building Height – Max allowable is 35', this is a 4-story building with a height of +/- 50' to the upper parapet.
- Parking – 133 stalls shown (surface and underground) however 217 are required (186 for the apartments and 31 for the commercial space).
- ATM drive approach requires 100' queue before the ATM and 40' after. We have 93' before and 30' after so we are in near compliance. It is our understanding that the code is currently being rewritten which will may shorten this length for Banks/ATMs. As we do not intend to seek PIP approval until 2021, we would like to revisit this exception at a later date.

Site Development Data:

Densities:

Lot Area	82,877 S.F. 1.90 acres
Dwelling Units	79 DU
Lot Area / D.U.	1,049 S.F./D.U.
Density	41.6 units/acre
Usable Open Space	25,400 S.F. = 321 S.F. per dwelling unit
Floor Area Ratio	28%

Commercial Area: 9,319 S.F.

Residential Area:

First Floor =	13,944 S.F.
Second floor =	28,687 S.F.
Third Floor =	28,687 S.F.
Fourth Floor =	23,843 S.F.
Total =	95,161 S.F.

Building Height: 4 stories = +/-50'-0"

Dwelling Unit Mix:

One Bedroom	40
Two Bedroom	23
Three Bedroom	16
Total	79 units

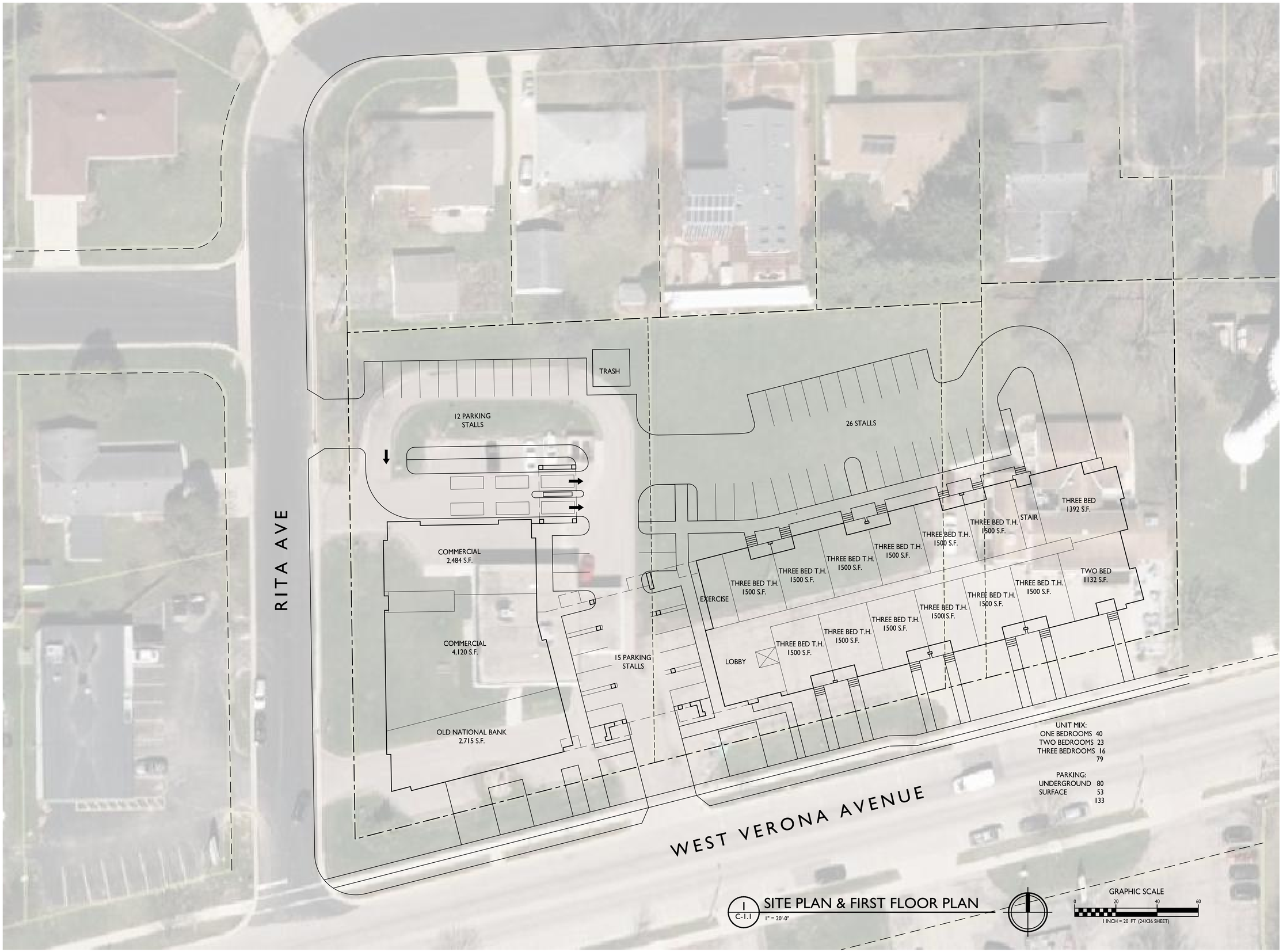
Vehicle Parking:

Underground	80
Surface	53
Total	133 vehicle stalls

Thank you for your time reviewing our proposal.

Sincerely,

Kevin Burow, AIA



1 / C-1.1 SITE PLAN & FIRST FLOOR PLAN

1" = 20'-0"

knothe • bruce ARCHITECTS
Phone: 608.836.3690
7601 University Ave, Ste 201
Middleton, WI 53562

ISSUED
Issued for Review - June 3, 2020

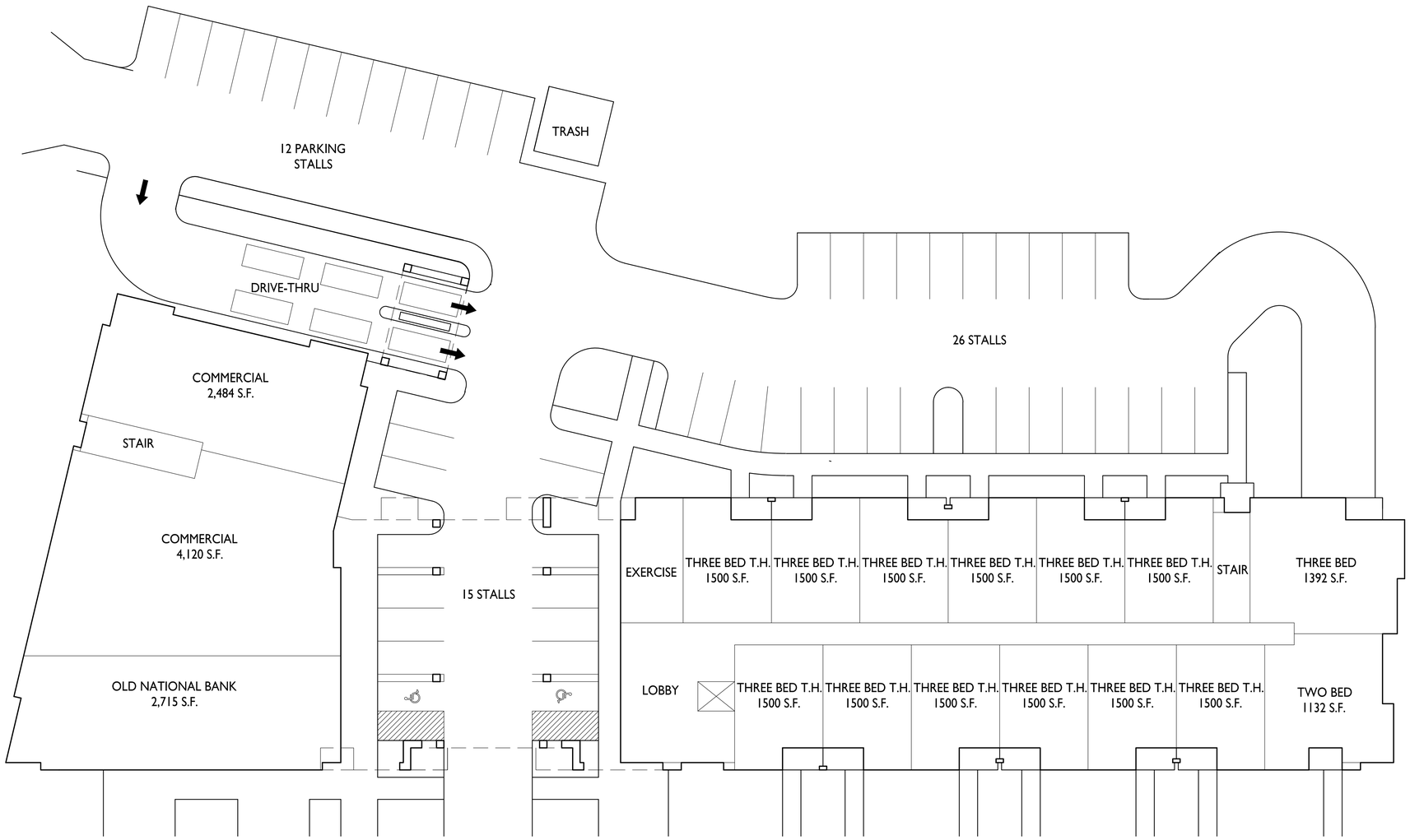
PROJECT TITLE
Northpointe Development

West Verona Avenue
Verona, Wisconsin

SHEET TITLE
Site Plan

SHEET NUMBER
C-1.1

PROJECT NO. 2013



UNIT MIX:
ONE BEDROOMS 40
TWO BEDROOMS 23
THREE BEDROOMS 16
79

1
A-1.1

FIRST FLOOR PLAN

1/16" = 1'-0"

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ARCHITECTS
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7601 University Ave, Ste 201
Middleton, WI 53562

ISSUED
Issued for Review - June 3, 2020

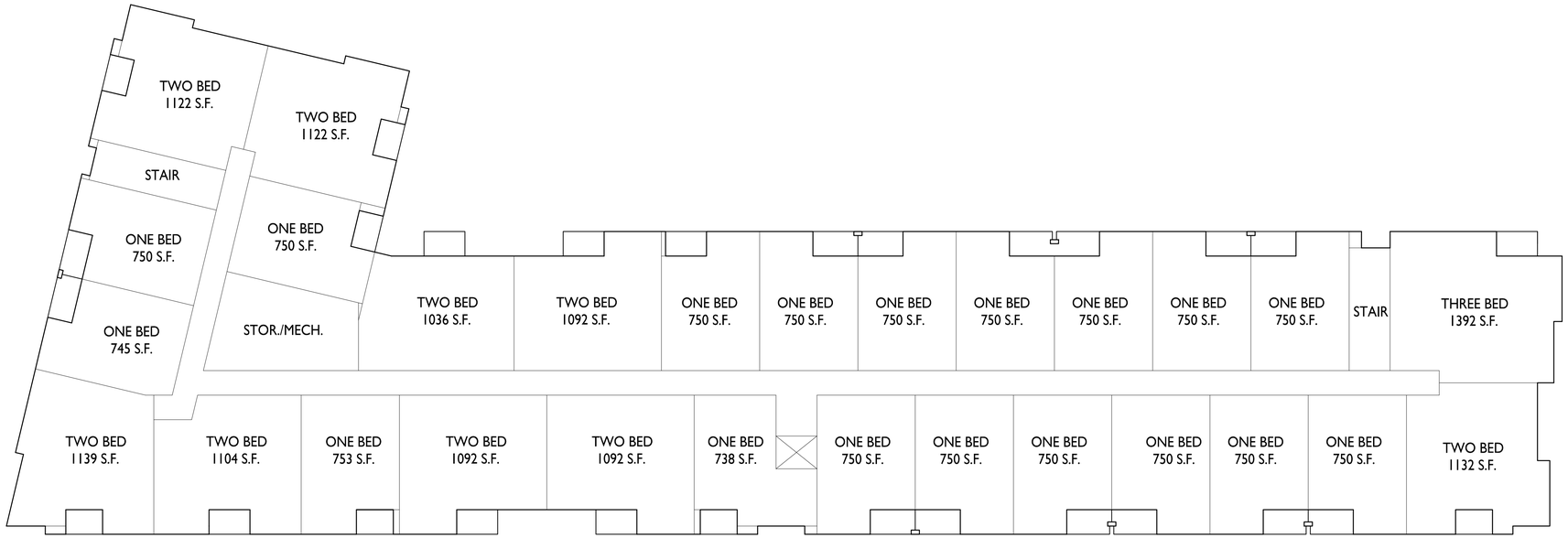
PROJECT TITLE
Northpointe Development

West Verona Avenue
Verona, Wisconsin

SHEET TITLE
First Floor Plan

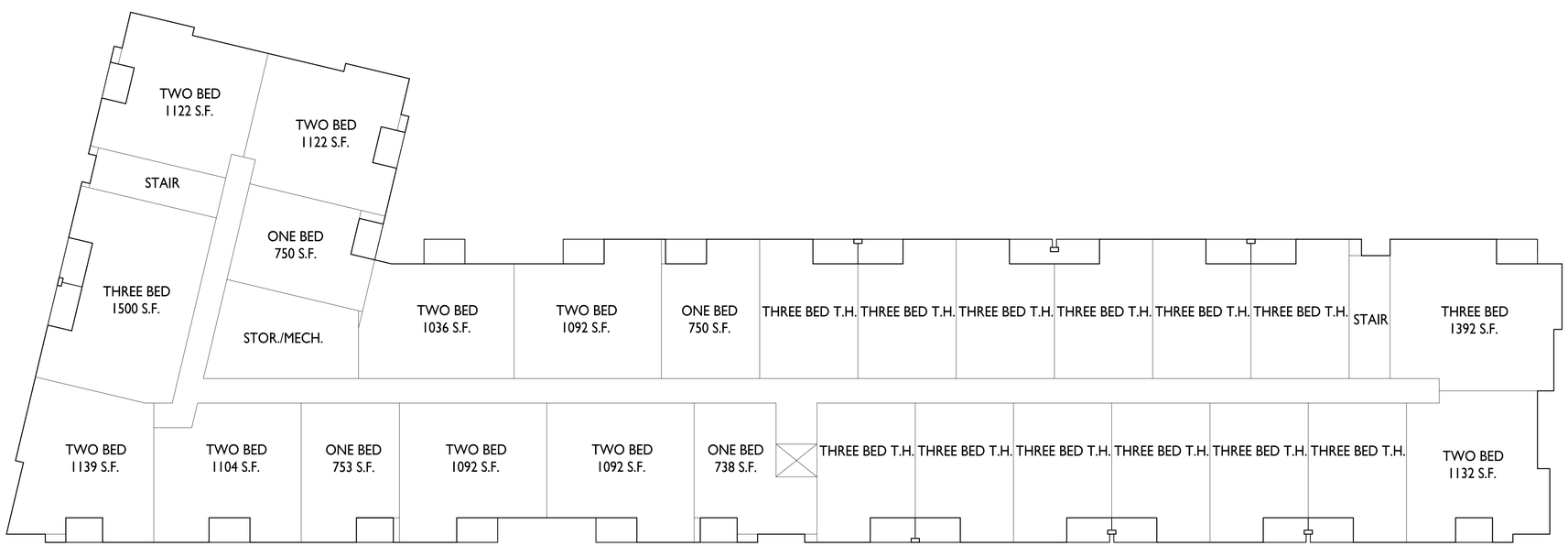
SHEET NUMBER
A-1.1

PROJECT NO. 2013



2 A-1.2 THIRD FLOOR PLAN

1/16" = 1'-0"



1 A-1.2 SECOND FLOOR PLAN

1/16" = 1'-0"

knothe • bruce
ARCHITECTS
Phone: 608.836.3690
7601 University Ave, Ste 201
Middleton, WI 53562

ISSUED
Issued for Review - June 3, 2020

PROJECT TITLE
Northpointe Development

West Verona Avenue
Verona, Wisconsin

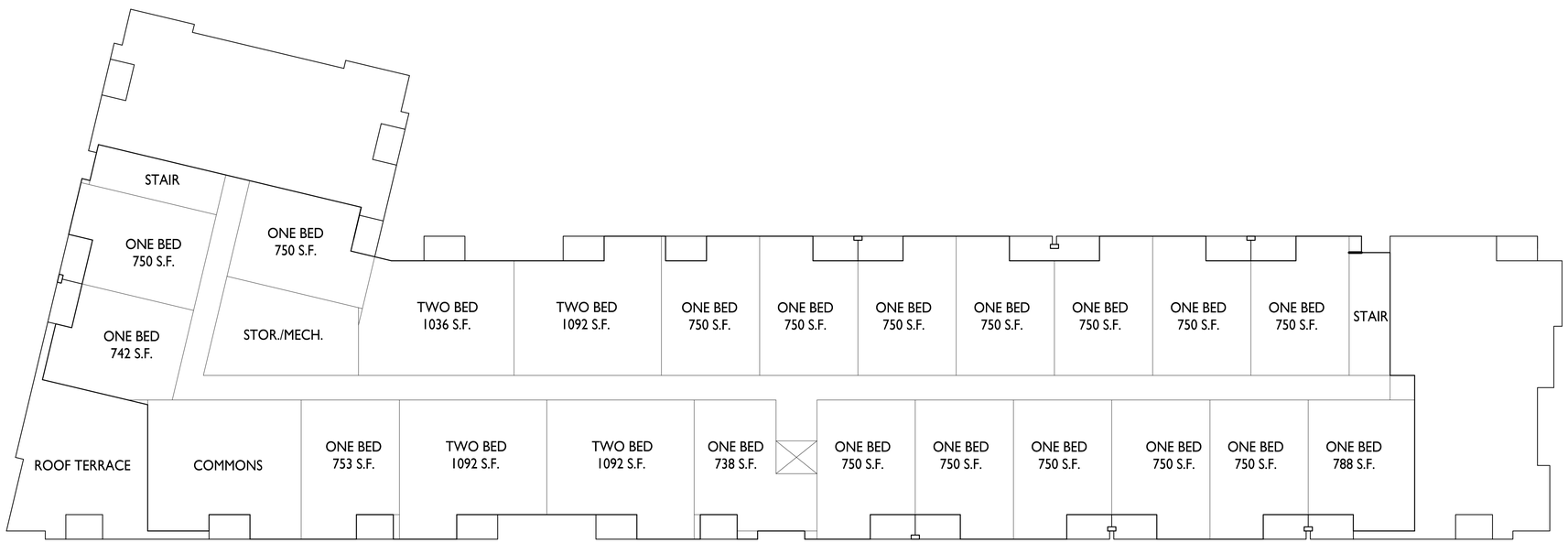
SHEET TITLE
Second & Third Floor Plans

SHEET NUMBER
A-1.2

PROJECT NO. 2013

knothe • bruce
ARCHITECTS
Phone: 608.836.3690
7601 University Ave, Ste 201
Middleton, WI 53562

ISSUED
Issued for Review - June 3, 2020



1
A-1.3
FOURTH FLOOR PLAN
1/16 = 1'-0"

PROJECT TITLE
Northpointe Development

West Verona Avenue
Verona, Wisconsin

SHEET TITLE
Fourth Floor Plan

SHEET NUMBER
A-1.3

PROJECT NO. 2013

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ARCHITECTS
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7601 University Ave, Ste 201
Middleton, WI 53562

1
A-2.1
FRONT ELEVATION
1/16 = 1'-0"

ISSUED
Issued for Review - June 3, 2020

PROJECT TITLE
Northpointe Development

West Verona Avenue
Verona, Wisconsin

SHEET TITLE
Exterior Elevations

SHEET NUMBER
A-2.1

PROJECT NO. 2013

Planning Report

City of Verona

Plan Commission 7-6-2020

Costco Wholesale

Planned Unit Development – Concept Plan

Summary: The Applicant has submitted a request for planned unit development (PUD) concept plan review to construct a 161,050 square foot wholesale building and fuel facility with a maximum of 24 pumping locations in the southwest corner of CTH M and Thousand Oaks Trail.

Property Location: Southwest corner of CTH M and Thousand Oaks Trail

Property Owner: Anorev LLC
2248 Deming Way, Suite 200
Middleton, WI 53562

Applicant: Costco Wholesale
999 Lake Drive
Issaquah, WA 98027

Existing Zoning: Suburban Commercial (SC)
Existing Land Use: Vacant
Proposed Land Use: Indoor Sales or Service (wholesale building) and In-vehicle Sales or Service (fuel station)

Figure 1 – Location Map

Site Description:

Costco Wholesale ("Application") has submitted a request to construct an indoor sales or service land use at the southwest corner of County Highway M (CTH M) and Thousand Oaks Trail ("Property" or "Subject Property"). The Property is zoned Suburban Commercial (SC). The Zoning Ordinance states "any proposed development that will include 'indoor sales and service' land uses contained within buildings 100,000 square feet in size or larger" (Sec. 13-1-371 (4)) will be reviewed as a Planned Unit Development District (PUD).

Background:

The Verona Technology Park was platted in 2004. Underground utilities were installed along John P. Livesey Boulevard right-of-way between American Way and Thousand Oaks Trail, but the road was not installed. There are curb cuts along American Way and Thousand Oaks Trail where the future John P. Livesey Boulevard will connect.

Development Process:

Any planned unit development for this Property will have to go through the following development process and meet all of the requirements prior to receiving a building permit. Some of these steps may occur concurrently.

- **Planned Unit Development (PUD)** – This is necessary as the building is larger than 100,000 square feet as discussed in the site description.

    - *Step 1 – Pre-Application Conference:* The applicant discusses the project with Staff prior to moving on to the Plan Commission. Staff provides the applicant with initial comments on the plan, which was completed and is ongoing.

    - *Step 2 - Concept Plan:* An applicant would create a plan that shows conceptually how the Property would be laid out with transportation (i.e. roads, paths, etc.), stormwater management areas, parkland dedication, buildings (placement and design), and various land uses. This is a way to gain feedback from Planning Staff and the Plan Commission to determine if there is consensus on the concept, which is the current Application.

    - *Step 3 – General Development Plan (GDP):* The intent of the GDP is provide general, but more detailed than the concept plan, about the proposed development. A public hearing is held before the Plan Commission. The City notifies all properties, with a letter, that are located within 200-feet of the property that is requesting the GDP. The Plan Commission makes a recommendation to the Common Council. If the GDP is approved, this step provides the zoning entitlements to the project.

- *Step 4 – Precise Implementation Plan (PIP):* The final step in the PUD process is the final approval of all plans including site plan, landscaping, stormwater, photometric plans, building design, etc. A public hearing is held before the Plan Commission. The City notifies all properties, with a letter, that are located within 200-feet of the property that is requesting the PIP. The Plan Commission makes a recommendation to the Common Council. If the PIP is approved, the applicant can proceed to obtain building permits and start construction of the project.

- **Land Division** – An applicant will need to submit a certified survey map and/or plat to combine property lines. This would go before the Plan Commission and the Common Council for their approvals as well as land vacation to remove the proposed John P. Livesey Boulevard right-of-way from the site.

Southeast Neighborhood Plan:

The Property is located in the Southeast Neighborhood Plan ("Plan"), which was adopted in 2010. The Property and others are discussed on page 19 of the Plan and state:

- "The City will require a minimum of 25% landscaping areas/open space for developments within the 'Southeast Commercial' Sub-area – consistent with the City's 'Suburban Commercial' and 'Suburban Office' zoning district requirements;"
- "Land-uses in this Sub-Area are planned to be primarily service or retail businesses, given the high traffic counts, excellent visibility and accessibility at this major highway intersection;"
- "High-quality architecture and building design will be required for development within this area, given its prominent location as the 'gateway' to the City of Verona from the south and southeast. The Plan Commission will serve as the architectural review and approval board for any proposed development within this area;"

The Plan also states: "The City has taken great efforts to limit the amount of land that will be utilized for *retail* development in this area and has allowed only about 80 acres (closest to the intersection of CTH 'M' and 'PB' …) to be zoned for retail development" (p. 15). The Plan acknowledges that the goal is to keep the downtown area retail and service center viable, but that this location makes sense for some form of retail at two major highways. "This limited amount of retail development will also enhance the City's effort to promote employment and job-creation opportunities within the Southeast Neighborhood by creating the amenities and services that are necessary in close proximity to a major employment center" (p. 15). The Applicant states that it "recruits primarily from the community in which it is located. …They strive for 50% full-time to part-time ratio" (p. 34, Application).

The Applicant is proposing to locate Costco Wholesale in the southeast corner of CTH PB and CTH M. The Applicant understands that landscaping is important to the development of this Property and is preserving the existing large oak tree near the intersection of CTH PB and CTH M by adjusting their site plan design. The Applicant proposes enhanced landscaping along the base of the north façade to provide depth and visual interest. The landscaping plan will be submitted in subsequent applications.

Planning Review:

Bulk Requirements:

Setback/Code Requirements	Proposed (ft.)	Code (ft.)	Compliance
Front (CTH M)	71	25	Yes
Street Side (Thousand Oaks Trl.)	67	25	Yes
Side	Exceeds min.	10 or 0	Yes
Min. Paved Surface Setback:			
From Side	25	5	Yes
From Street (CTH M)	16	10	Yes
(Thousand Oaks Trail)	17	10	Yes
Max. Building Height			
Building	31	45	Yes
Fuel Station	14	45	Yes

The site plan in the Application contains measurements for the setbacks. The building meets and exceeds the minimum setback requirements. The fuel station meets all of the setback requirements as it is twenty (20) feet from the side setback to the east and exceeds the front setback from American Way. The canopy for the fuel station is well under the forty-five (45) maximum height.

Transportation:

Access to the site will be from Thousand Oaks Trail and American Way utilizing the existing curb cuts. John P. Livesey Boulevard, which should be renamed in this area, will dead end into the Applicant's parking lot. The newly created lots will have access solely from the newly named public road. The fuel station will have direct access from American Way and will connect to the Costco parking lot.

The site plan in the Application illustrates how truck traffic will travel on the site with a dashed arrowed line. The fueling trucks will enter and exit from John P. Livesey Boulevard to access the fuel station. The freight trucks will enter and exit from John P. Livesey Boulevard traveling through the parking lot to the north, traveling parallel to CTH M, and travel south parallel to Thousand Oaks Trail to the loading and unloading docks. After the freight trucks are unloaded, the freight truck will travel south and west in the parking lot towards the fuel station to exit onto John P. Livesey Boulevard.

The Applicant is proposing 751 parking spaces, which includes twenty (20) handicapped spaces and does not include designated future parking. The parking stall

dimensions are ten (10) feet wide, which is wider than the typical parking stall width of nine (9) feet. The standard parking calculation for an indoor sales or service facility per the zoning ordinance is one (1) parking space for every 300 square feet of gross floor area (Sec. 13-1-89 (c)(4)). This Application requires a minimum of 537 parking spaces based on the Application, which is the difference of 214 parking spaces from the ordinance and their proposal of 751 parking spaces. The Applicant has listed on the site plan future parking for an additional "+59 stalls", which would be located in the corner of CTH PB and CTH M. The additional parking may be needed as this would be a destination for people that are outside of the City.

The standard parking calculation for an in-vehicle sales or service per the zoning ordinance is one (1) parking space per 50 square feet of gross floor area (Sec. 13-1-89(g)(4)). Any parking required for the fuel station is available in the proposed parking lot as the fuel station will be owned and operated by the Applicant.

The Applicant is encouraged to designate a pedestrian area that is safe to walk from American Way through the fuel station to connect to the parking lot corridor as depicted red in Figure 2. This pedestrian connection will increase pedestrian connectivity north/south on the site.

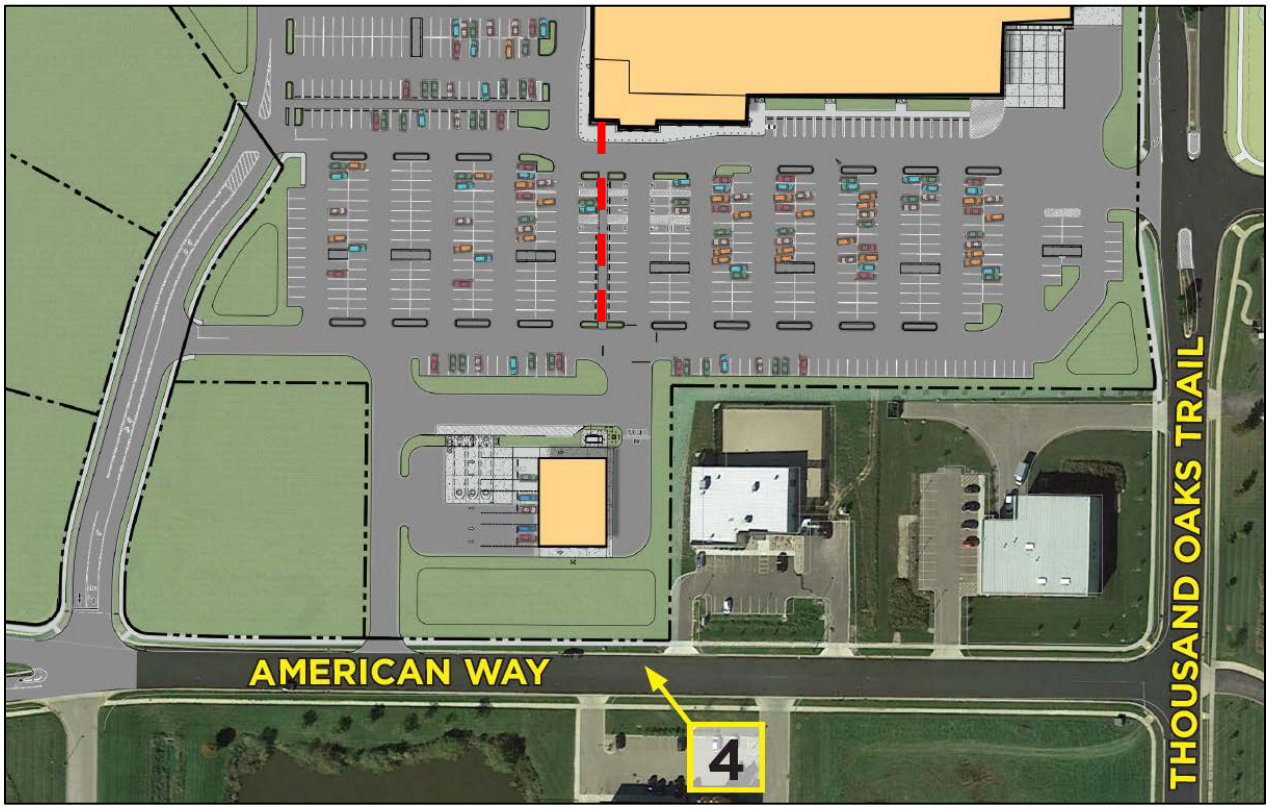


Figure 2 - Potential pedestrian connection

The Applicant will complete a Traffic Impact Analysis (TIA) in conjunction with AECOM as the project progresses through the design. The TIA will give Staff and the Applicant understandings of what road improvements are needed. Typical examples of

improvements may include, but not limited to, turn lanes, elongating queuing lanes, mountable curbs for trucks, and traffic signals.

The Application does not include sidewalks or bicycle facilities at this time. However as the project progresses, Staff recommends pedestrian connections from American Way and Thousand Oaks Trail be provided. Bicycle racks will be required at the front of the store.

Drainage/Stormwater:

Stormwater management details are being discussed and Staff will be providing feedback to the Applicant in the near future. Staff encourages the Applicant to master plan the stormwater, including the outlots, to reduce the number of stormwater ponds required for the overall development.

Design:

Conceptual building designs were included in the concept submittal for the building and the fuel station. In general, the wholesale building would be approximately thirty-one (31) feet tall, which conforms to the Zoning Ordinance requirements. The Applicant proposes to use high quality, recycled, architectural metal panels, structural brick, split-face concrete masonry units (CMU) and cultured stone veneer. The Applicant has created visual interest by changing the height of the building and creating undulations giving the illusion of smaller building sections as depicted in Figures 3 and 4. Additional building elevations and renderings are contained in the Application.

Figure 3 - Front of the building

Figure 4 - Building design

The fueling station height is approximately fourteen (14) feet tall. The canopy is wrapped in metallic champagne, which matches the wholesale building. The canopy columns are wrapped with cultured stone veneer from the ground to the height of the fuel pump, which changes to brick to connect to the canopy as depicted in Figure 5.

Figure 5 - Fuel Station design

Staff is encouraged by the building design and the fuel station design. The design of the fuel station mirrors the wholesale building design and the wrapping of the columns elevates the design. Staff encourages the Plan Commission to review the conceptual building designs and provide feedback to the Applicant.

Sustainability:

Costco designs their sites to include sustainable design.

"Awareness and responsibility to design, construct and operate Costco sites and buildings in an energy-efficient, sustainable and environmentally responsible manner are embedded into the Costco program. This include, but are not limited to:

- The building structure steel system and architectural metal panels are comprised of 80% recycled content with the associated batt insulation comprised of greater than 50% of recycled content.
- The roof maintains reluctance, emittance and SRI ratings that lessen heat gain and the premanufactured building system provides erection efficiency reducing impacts to the carbon footprint. …
- All site and building lighting systems utilize LED Technology.
- Implementation of the APANA water management systems drive operational efficiency to lower waste water and sewer use. (Application, p. 6)"

Staff is supportive of the sustainable features that will be used for the site as the current zoning ordinance does not require sustainable or green building.

Certified Survey Map (CSM) and Vacation:

The Applicant proposes to purchase Lots 1 through 8, 11 through 15, and part of Lot 16 as depicted in yellow in Figure 6. Lots 4 through 8, 11 through 13, 15, and part of 16 will be combined into one large lot. The right-of-way for John P. Livesey Boulevard depicted in teal will be vacated. The entire road does not need to be vacated as the portion near American Way is proposed to have four (4) lots, which will have access from John P. Livesey Boulevard. The combined lots and vacation would total approximately 23.8 acres; however, Costco would only use approximately 17.8 acres with the remaining acreage for future commercial lots. Staff would support the combination of the lots to create new lots and the vacation of the right-of-way. Staff recommends the portion of the public John P. Livesey Boulevard be renamed as it will no longer connect publicly to Thousand Oaks Trail.

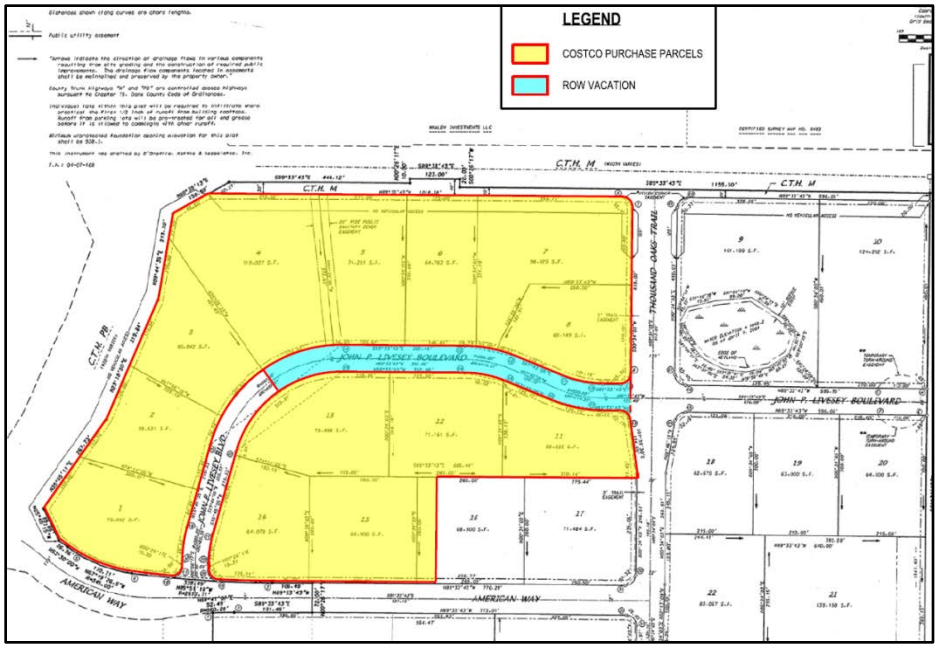


Figure 6 - Potential Certified Survey Map and Vacation

Vacant Store Agreement:

Similar to the recently constructed Festival Foods, Costco will be required to enter into a vacant store agreement with the City. The existing agreement with Festival Foods requires the City to impose similar requirements with other stores that are of equal size or larger. The intent of the agreement is to reduce future blight if the store were to become vacant The Applicant is aware of this requirement and is already working on a similar agreement with the City. Additional details of this requirement will be discussed as subsequent plans are submitted.

Public Comments:

The Concept Plan does not require a public hearing as this plan is to gain feedback from the Plan Commission and Common Council. However, public hearings will be required in subsequent applications. Staff has received several comments from the public via email and phone conversations. The majority of the people who have contacted Staff are supportive of Costco opening a location on this property due to the access from the highway, demand, potential for additional businesses to move to Verona, and consumers who can support local existing businesses. Some who are supportive of project have concerns regarding increase in traffic and change of traffic patterns. Persons in opposition to the project have concerns with noise, conflicts with access point for existing businesses, and increase in traffic.

Staff Comments:

In general, Staff is receptive to the Application. Additional design details are necessary to provide a full review and analysis of the project. Generally, Staff is comfortable with the proposed use on the Property.

Recommendation:

Staff recommends the Plan Commission review the submitted materials and provide feedback to the applicant.

Prepared by: Katherine Holt KH
Community Development Specialist

Submitted by: Adam Sayre, AICP AS
City Administrator

From: winifred lacy
To: Katherine Holt
Subject: Costco developement
Date: Tuesday, June 23, 2020 7:10:14 PM

Katherine, Can this be presented to the plan commission? winnie Lacy

Mike Zimmerman suggested I contact you in regard to a project I am working on. It is a book which I have titled “Roads to the Past, stories of our ancestors”. Many of our families (my husband and mine) have streets and roads with family names. i.e. Lacy Road, Lottes Lane, Farrell Street to name a few. In the 1890s my husband's grandparents, William and Minnie Batker, owned the land where Costco is planning to build. Because I did not have a “Batker” street to use for that chapter of my book I made up a name “ Batker Byway” . If by chance the developer will use an actual name of “:Batker” someplace in the development I will change the name I made up for use in the book. As it stands now, this is the heading for the Batker section of the book. I think there would be many Batker descendants who would also be happy to see the name Batker used.

Thank you for listening to my request

Winnie Lacy

ROADS TO THE PAST

VOLUME VI

BATKER BYWAY

COSTCO WHOLESALE CORPORATION

Concept Plan Submittal

Verona Technology Park

City of Verona, WI

June 08, 2020

PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

TABLE OF CONTENTS

NARRATIVE

EXHIBITS

ATTACHMENTS

PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

1.0 Property Owner and Project Team

Property Owner:	Anorev LLC 2248 Deming Way, Suite 200 Middleton, WI 53562 (See Appendix 1 for Owner Authorization Letter)
Contract Purchaser:	Costco Wholesale 999 Lake Drive Issaquah, WA 98027
Real Estate Consultant:	Brian Whelan Senior Vice President Northwest Atlantic 2311 W. 22nd Street Oak Brook, IL 60523
Development Manager:	Stephen Cross President Cross Engineering & Associates, Inc. 1955 Raymond Drive, Suite 119 Northbrook, IL 60062
Architect:	Risa Yuki Principal MG2 1101 Second Ave, Ste 100 Seattle, WA 98101
Engineer, Surveyor and Traffic Consultant:	Brent Pitcher, PE Vice President, Principal Graef 275 West Wisconsin Avenue, Suite 300 Milwaukee, WI 53203

2.0 Introduction and Subject Property

Costco Wholesale (Costco) began operations in 1983 in Seattle. In October 1993, Costco merged with The Price Company, which pioneered the membership warehouse concept in 1976. In January 1997, after the spin-off of most of its non-warehouse assets to Price Enterprises, Inc., the Company changed its name to Costco Wholesale Corporation, which trades under the NASDAQ symbol "COST."

Costco originated the warehouse club concept in 1976 and continues to be an industry leader in terms of service, quality, value and innovation. Costco has grown to become, in terms of sales, the second-largest Global retailer and the largest operator of membership clubs worldwide. (See Appendix 2 –About Costco)

Costco has two existing warehouses within the Madison area. The closest facility is located in City of Middleton, approximately 8 miles north of the City of Verona. The other facility is located in City of Sun Prairie, approximately 20 miles northeast of the City of Verona. Currently, approximately 45% of all households in Verona have a Costco membership and travel outside of the community to shop at one of the other Madison area locations. Costco has entered into an agreement to purchase Lots 1 through 8, 11 through 15 and part of Lot 16 of the Verona Technology Park, located at the northeast corner of the intersection of County Highway PB and American Way, in order to develop a membership warehouse retail store and fuel facility (see Exhibit A – Location Map, and Exhibit B – Aerial Photo). The Verona Technology Park was platted, and the park infrastructure constructed in 2004. Underground utilities have been installed along the John P. Livesey Boulevard right-of-way between American Way and Thousand Oaks Drive that runs between the subject lots, however, the final grading, curb and gutter, pavement, sidewalk and street lights have not been installed. The subject lots were graded as part of the park improvements, and stormwater detention is provided within the existing stormwater management facility located on the south side of American Way.

In order to construct the Costco warehouse, a portion of the John P. Livesey Boulevard right-of-way (ROW) would need to be vacated. As part of the entitlement approvals, a ROW vacation request would be submitted to the City by the property owner, and the vacated ROW area would be included within the proposed Costco development project. (See Exhibit C – Verona Technology Park Plat). As previously noted, the ROW runs between the subject lots to be purchased by Costco, and it should be noted that the portion of ROW that would be vacated only serves the proposed lots to be purchased by Costco. The lots on either side of the vacated ROW would be consolidated with the vacated ROW to form a single lot for the warehouse and fuel facility, with four platted outlots for future commercial uses. The combined lot area is

approximately 22.5 acres, and the vacated ROW is approximately 1.3 acres, which would be a total of approximately 23.8 acres. As part of the Costco project, Costco will construct the public roadway within the remaining John P. Livesey Boulevard ROW in order to serve the Costco development project and the four outlots.

The Costco warehouse would utilize approximately 17.80 acres of the 23.80-acre property purchase, with 4 outlots totaling approximately 6 acres for future sale and development.

The existing zoning is Suburban Commercial, which would allow for the proposed Costco warehouse and fuel facility. However, due to the size of the development, a Planned Unit Development overlay is required.

3.0 Concept Plan Proposal

The goal of the proposed Concept Plan is to develop the vacant parcels with a Costco warehouse and fuel facility. The proposed Costco building will be approximately 161,050 sf, and the overall site plan will provide for approximately 751 parking stalls, with room to expand the parking lot by an additional 59 stalls. (See Exhibit D - Site Plan, Exhibit E – Site Context Plan with Aerial Overlay). The initial parking count will provide a ratio of 4.65 stalls per 1,000 sf of building area, which provides ample parking based on Costco's anticipated initial member use.

The property will be accessed from County Highway PB and American Way at the southwest corner of the development and CTH M and Thousand Oaks Trail on the east side. Both access points have excellent access to the adjacent highways, as well as access to US 18/151. Four access driveways have been designed to provide multiple locations to enter and exit the Costco site. Parking has been efficiently distributed around the south and west sides of the warehouse to maximize the convenient parkings spaces proximate to the customer entrance and exit located at the southwest corner of the building.

A large heritage oak tree is located near the northwest corner of the property near the intersection of County Highway PB and CTH M. The site plan has been designed to save this tree.

<u>Architecture:</u> The proposed warehouse design is a timeless solution utilizing a mixture of modern, traditional and sustainable materials in a warm color palette of browns and beige. Horizontal and vertical articulation are achieved through color, texture and material distribution along the façades. Materials used include high quality, recycled, architectural metal panels, structural brick, integral color split-face concrete masonry units and cultured

stone veneer. The warehouse entry is a focal point to the site and incorporates pedestrian scaled detailing and the use of glass. Enhanced landscaping along the base of the north façade will compliment this elevation providing depth, softening and visual interest. The fuel facility design takes cues from the warehouse and incorporates similar materials, colors and textures creating a visual connection. (See Exhibit F – Warehouse Elevations, Exhibit G – Concept Building Perspectives, Exhibit H - Fuel Facility Elevations and Exhibit I – Floorplan)

Sustainable Design: Awareness and responsibility to design, construct and operate Costco sites and buildings in an energy-efficient, sustainable and environmentally responsible manner are embedded into the Costco program. This include, but are not limited to:

- The building structure steel system and architectural metal panels are comprised of 80% recycled content with the associated batt insulation comprised of greater than 50% of recycled content.
- The roof maintains reflectance, emittance and SRI ratings that lessen heat gain and the premanufactured building system provides erection efficiency reducing impacts to the carbon footprint.
- Landscaping exceeds minimum requirements in order to create high impact and beautiful landscapes through larger caliper trees, native vegetation and drought tolerant species, which in turn minimize irrigation needs.
- All site and building lighting systems utilize LED Technology
- Implementation of the APANA water management systems drive operational efficiency to lower waste water and sewer use.

The fueling facility will initially provide three islands with 18 pumping locations. It has been planned with room to extend the islands in order to add three more pumps which will provide an additional 6 pumping locations. In the ultimate configuration the fueling facility could provide a total of 24 pumping locations. The fuel facility has been designed to provide access from the internal driveways, the cul-de-sac or American Way. It is anticipated that 70-80 percent of the members visiting the warehouse will also purchase gasoline during the same visit.

The subject properties were included in a Traffic Impact Analysis dated October 2017, and prepared by AECOM on behalf of the City of Verona. As the project progresses through the entitlement and design process, Costco will work closely with the city staff to develop roadway improvements needed as part of the Costco development.

Public improvements anticipated as part of this development include the construction of the roadway within the John P. Livesey Boulevard ROW that will remain, as well as relocation or removal of any public utilities that are within the ROW to be vacated. Utilities to service the

project have already been extended to the property, and have adequate capacity for the proposed project and outlots.

Stormwater management facilities constructed on the south side of American Way as part of the overall technology park improvements provide the required Stormwater detention. Onsite infiltration facilities for best management practices will be provided with construction of the Costco parcel.

In addition to the floor merchandise, the warehouse also provides other specialty departments and services such as bakery, photo center, tire center, pharmacy, optical and hearing departments.

The loading dock is located at the southeast corner of the building, adjacent to Thousand Oaks Trail. With the exception of local vendors/suppliers and delivery service such as UPS or Fedex, all deliveries to the warehouse are controlled by Costco so that most deliveries are completed during the morning hours, prior to the store opening.

Following are the anticipated warehouse and fuel facility operation hours:

HOURS		Warehouse	Fuel
	Mon-Fri	10 am – 8:30 pm	6 am – 9:00 pm
	Sat	9:30 am – 6 pm	7 am – 7 pm
	Sun	10 am – 6 pm	7 am – 7 pm

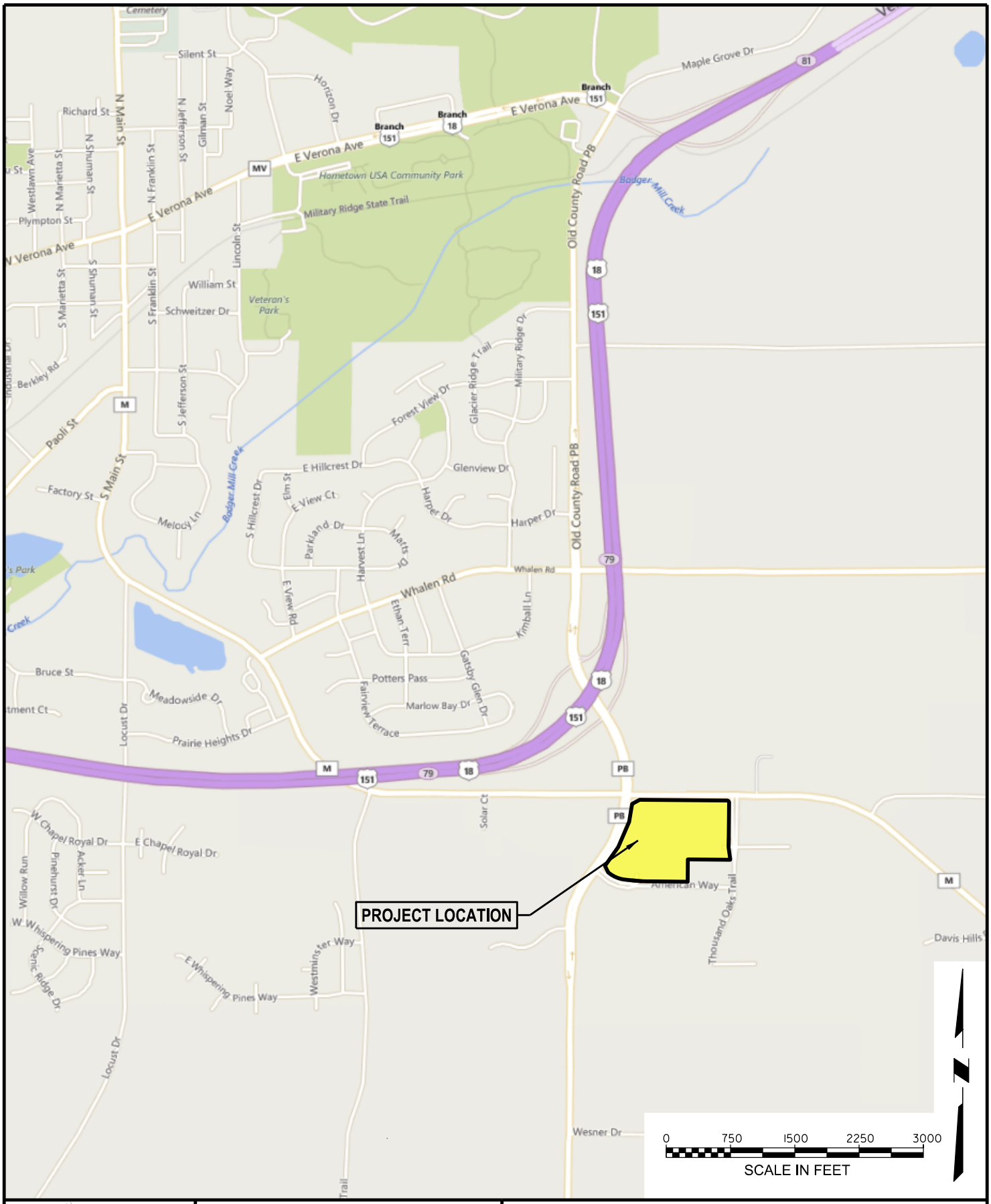
It is anticipated that construction would either begin in the fall of 2021 or fall of 2022, with an opening date of summer 2022 or summer 2023 depending on the start date. Submittals for the General Development Plan (GDP) would likely be made in the fall of 2020, followed by the Precise Implementation Plan (PIP) submittals in 2021 or early 2022.

PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

EXHIBIT A

LOCATION MAP



Cross Engineering & Associates, Inc.
1955 Raymond Drive, Suite 119
Northbrook, IL 60062
Tel: 847/498-0800

Prepared for:

Costco Wholesale
999 Lake Drive
Issaquah, WA 98027

Title: LOCATION MAP

Project: Costco Wholesale - Verona, WI

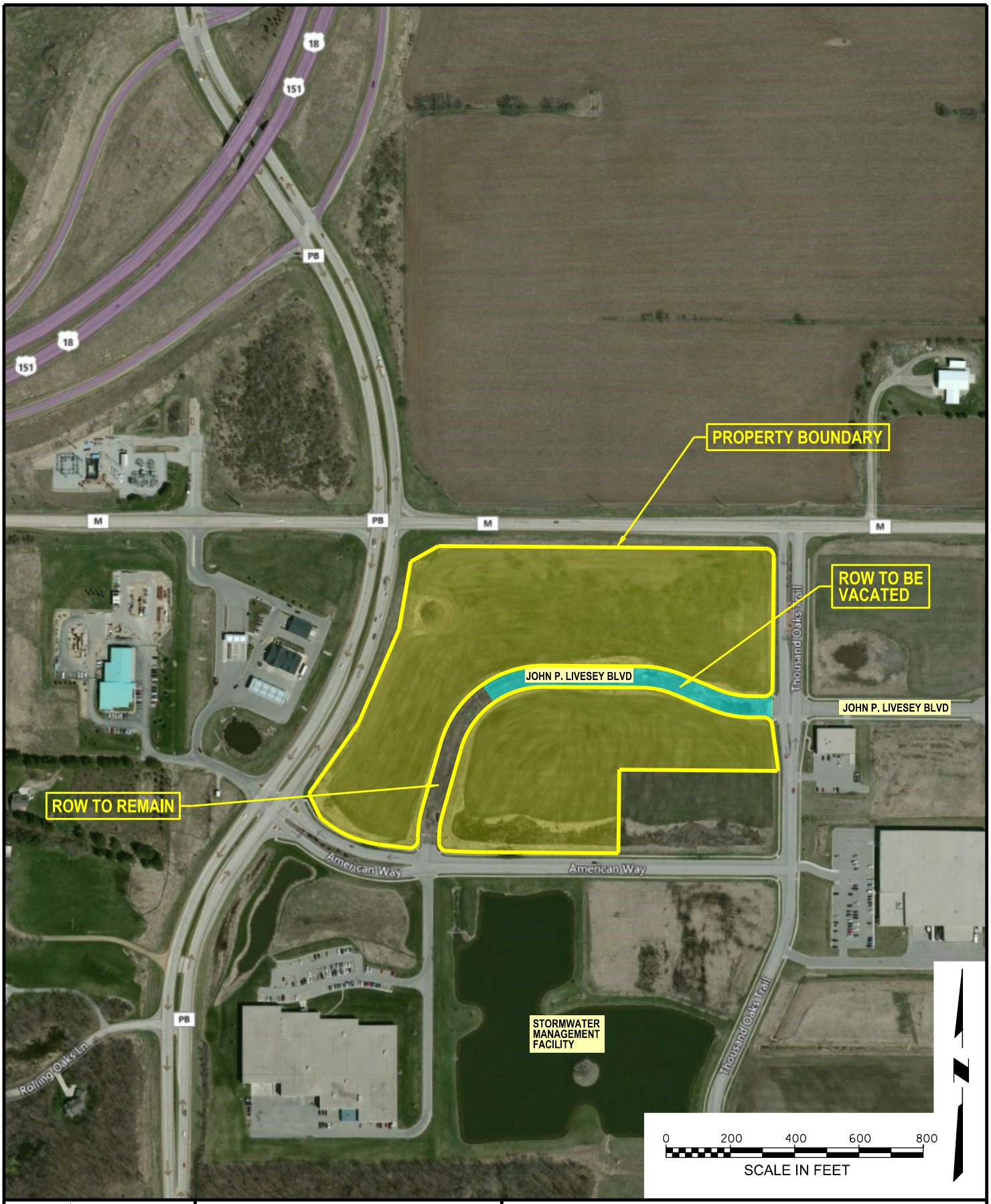
Project #:	Date:	Sheet #:
2008	6/8/20	Exhibit A

PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

EXHIBIT B

AERIAL PHOTO



Cross Engineering & Associates, Inc.
1955 Raymond Drive, Suite 119
Northbrook, IL 60062
Tel: 847/498-0800

Prepared for:

Costco Wholesale
999 Lake Drive
Issaquah, WA 98027

Title: AERIAL PHOTO

Project: Costco Wholesale - Verona, WI

Project #:	Date:	Sheet #:
2008	6/8/20	Exhibit B

PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

EXHIBIT C

VERONA TECHNOLOGY PARK PLAT

VOL 58-059A PLATS PAGE 313

VERONA TECHNOLOGY PARK

#3969930

Part of Lot 2, Certified Survey Map No.9950 & a Parcel of Land
located in the NE1/4, NW1/4, SW1/4 and SE1/4 of the NE1/4 of Section 26, T6N, R8E,
City of Verona, Dane County, Wisconsin

LEGEND AND NOTES

- Found Dane County Aluminum Monument.
- Found 1-1/4" diameter solid round iron stake.
- Found 3/4" diameter solid round iron stake.
- Placed 1-1/4" x 18" solid round iron rebar stake, weighing 4.30 lbs / ft. All other lot and outlot corners are marked with 3/4" x 18" solid round iron rebar stakes, weighing 1.50 lbs / ft.

Distances, lengths and widths are measured to the nearest hundredth of a foot.

Distances shown along curves are chord lengths.

Public utility easement

"Arrows indicate the direction of drainage flows in various components resulting from site grading and the construction of required public improvements. The drainage flow components located in easements shall be maintained and preserved by the property owner."

County Trunk Highways "M" and "PB" are controlled access highways pursuant to Chapter 19, Dane County Code of Ordinances.

Individual lots within this plat will be required to infiltrate where practical the first 1/2 inch of runoff from building rooftops. Runoff from parking lots will be pre-treated for oil and grease before it is allowed to commingle with other runoff.

Minimum unprotected foundation opening elevation for this plat shall be 938.5.

This instrument was drafted by D'Onofrio, Kottke & Associates, Inc.

F.N.: 04-07-108

LEGEND

- COSTCO PURCHASE PARCELS
- ROW VACATION

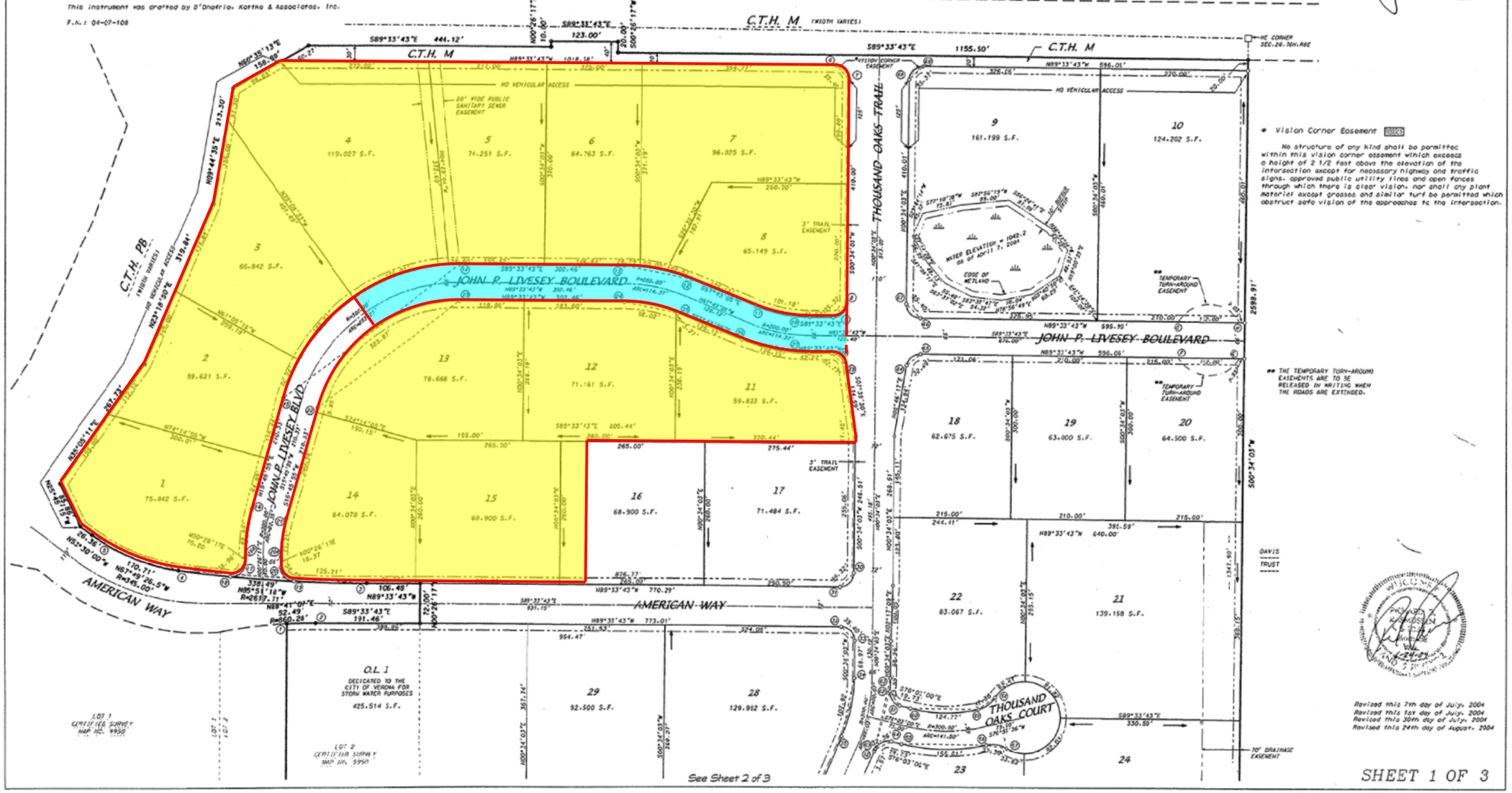
Bearings are referenced to the East line of the NE1/4 of Section 26, T6N, R8E, Wisconsin State Plane Coordinate System (South Zone) NAD 1927 Grid Bearing N00°34'03"E

Scale 1" = 100'

LOCATION MAP
NOT TO SCALE

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified September 8th, 2004
Department of Administration



* Vision Corner Easement

No structure of any kind shall be permitted within this vision corner easement which exceeds a height of 2 1/2 feet above the elevation of the intersection except for necessary highway and traffic signs, approved public utility lines and open fences through which there is clear vision, nor shall any plant material except grasses and similar turf be permitted which obstruct safe vision of the approaches to the intersection.

** THE TEMPORARY TURN-AROUND EASEMENTS ARE TO BE RELEASED IN WRITING WHEN THE ROADS ARE EXTENDED.

Revised this 7th day of July, 2004
Revised this 1st day of July, 2004
Revised this 30th day of July, 2004
Revised this 24th day of August, 2004

SHEET 1 OF 3

Cross Engineering & Associates, Inc.
1955 Raymond Drive, Suite 119
Northbrook, IL 60062
Tel: 847/498-0800

PROJECT:
Costco Wholesale
Verona Technology Park
NEx County Hwy PB / American Way
Verona, WI

PREPARED FOR:
Costco Wholesale
999 Lake Drive
Issaquah, WA 98027

NO.	DATE	DESCRIPTION
	6/8/20	Date Issued

VERONA TECHNOLOGY PARK PLAT

EXHIBIT C

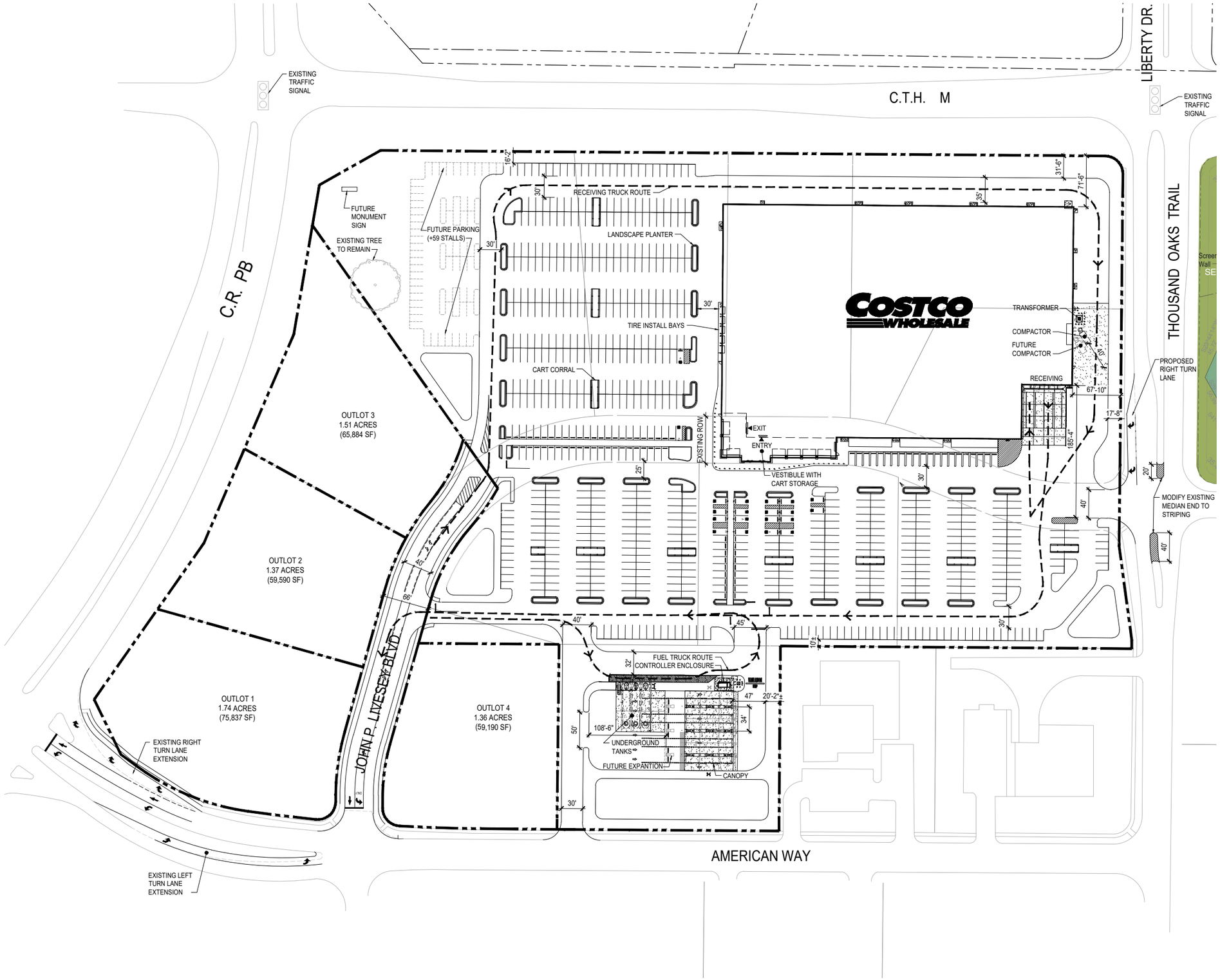
JOB NO.	2008
PAGE	1 OF 1

PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

EXHIBIT D

SITE PLAN



PROJECT DATA

CLIENT: COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

PROJECT ADDRESS: NWC AMERICAN WAY & THOUSAND OAKS TRAIL
VERONA, WI

SITE DATA:

TOTAL SITE AREA:	23.79 ACRES (1,036,103 SF)
INCLUDES:	
COSTCO SITE AREA:	17.81 ACRES (775,602 SF)
OUTLOT 1:	1.74 ACRES (75,837 SF)
OUTLOT 2:	1.37 ACRES (59,590 SF)
OUTLOT 3:	1.51 ACRES (65,884 SF)
OUTLOT 4:	1.36 ACRES (59,190 SF)
JURISDICTION:	CITY OF VERONA
ZONING:	SUBURBAN COMMERCIAL

BUILDING DATA:

TOTAL BUILDING FOOTPRINT AREA:	161,223 SF
INCLUDES:	
WAREHOUSE MAIN LEVEL	155,600 SF
VESTIBULE	5,623 SF

PARKING DATA:

TOTAL PARKING:	751 STALLS
INCLUDES:	
MAIN LEVEL PARKING PROVIDED:	
10' WIDE STALLS	731 STALLS
ACCESSIBLE STALLS	20 STALLS
NUMBER OF STALLS PER 1000 SF OF BUILDING AREA:	4.65 STALLS
FUTURE PARKING (NOT INCLUDED IN TOTAL ABOVE):	+59 STALLS

NOTES:
EXISTING CONDITIONS TO BE FIELD VERIFIED.

0 25' 50' 100'
1" = 50'-0"

COSTCO WHOLESALE
VERONA, WI

MG2

19-5367-01
JUNE 5, 2020

CONCEPT
SITE PLAN

DD11-02

COSTCO WHOLESALE

VERONA, WISCONSIN

CONCEPT SITE PLAN

JUNE 5, 2020

PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

EXHIBIT E

SITE CONTEXT PLAN WITH AERIAL OVERLAY

MG2

JUNE 8, 2020
19-5367-01
VERONA, WI

SITE CONTEXT

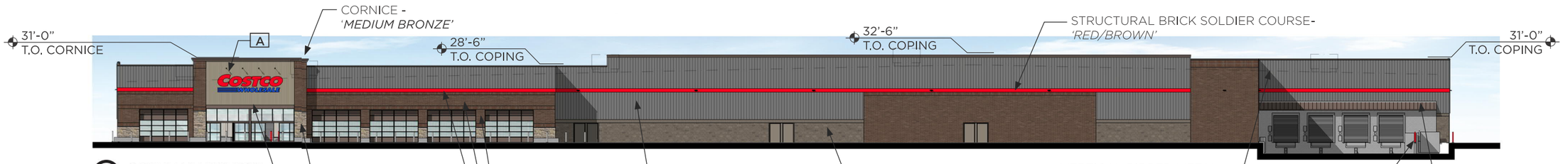
COSTCO WHOLESALE

PROPOSED COSTCO WHOLESALE

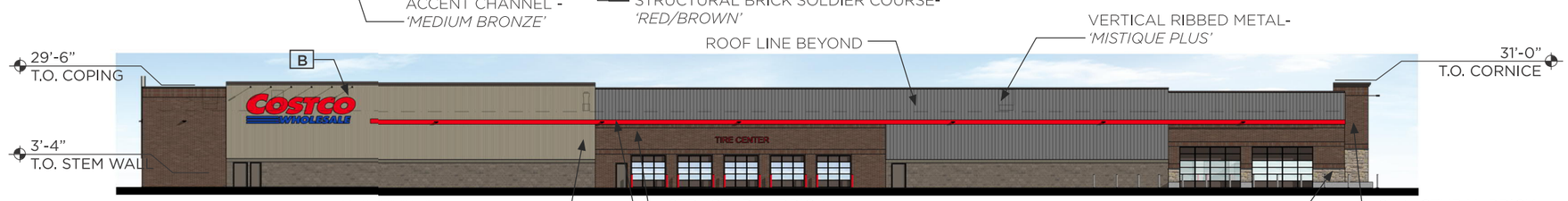
VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

EXHIBIT F

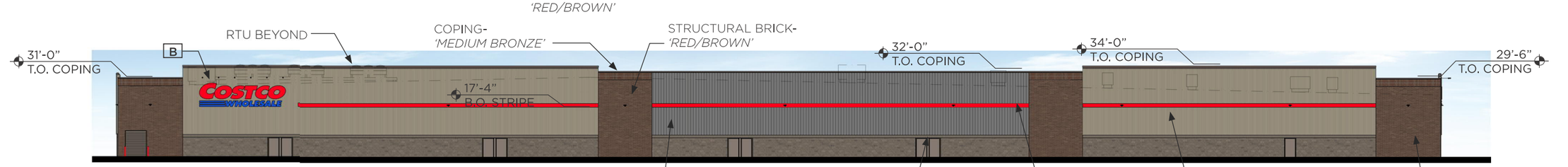
CONCEPT WAREHOUSE ELEVATIONS



1 SOUTH ELEVATION
SCALE: 1" = 40'



2 WEST ELEVATION
SCALE: 1" = 40

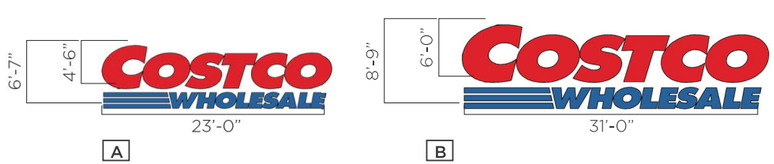


3 NORTH ELEVATION
SCALE: 1" = 40'

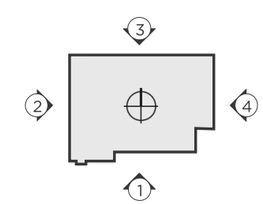
4 EAST ELEVATION
SCALE: 1" = 40'

SIGN TABLE

	QUANTITY	SIGN	SIZE	AREA (EACH)	TOTAL SF
A	1	TIRE CENTER	17'-4" x 1'-9"	31 SF	31 SF
B	1	COSTCO WHOLESALE	4'-6" C	158 SF	158 SF
C	2	COSTCO WHOLESALE	6'-0" C	280 SF	560 SF
				TOTAL SIGN AREA	749 SF



5 WAREHOUSE SIGNS
SCALE: 1" = 40'



MG2

JUNE 8, 2020
19-5367-01
VERONA, WI

CONCEPT WAREHOUSE ELEVATIONS

COSTCO WHOLESALE

PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

EXHIBIT G

CONCEPT BUILDING PERSPECTIVES.

MG2

JUNE 5, 2020
19-5367-01
VERONA, WI

ENTRY PERSPECTIVE

COSTCO WHOLESALE

MG2

JUNE 5, 2020
19-5367-01
VERONA, WI

WEST PERSPECTIVE

COSTCO WHOLESALE

MG2

JUNE 5, 2020
19-5367-01
VERONA, WI

WEST PERSPECTIVE

COSTCO WHOLESALE

MG2

JUNE 5, 2020
19-5367-01
VERONA, WI

SOUTH PERSPECTIVE

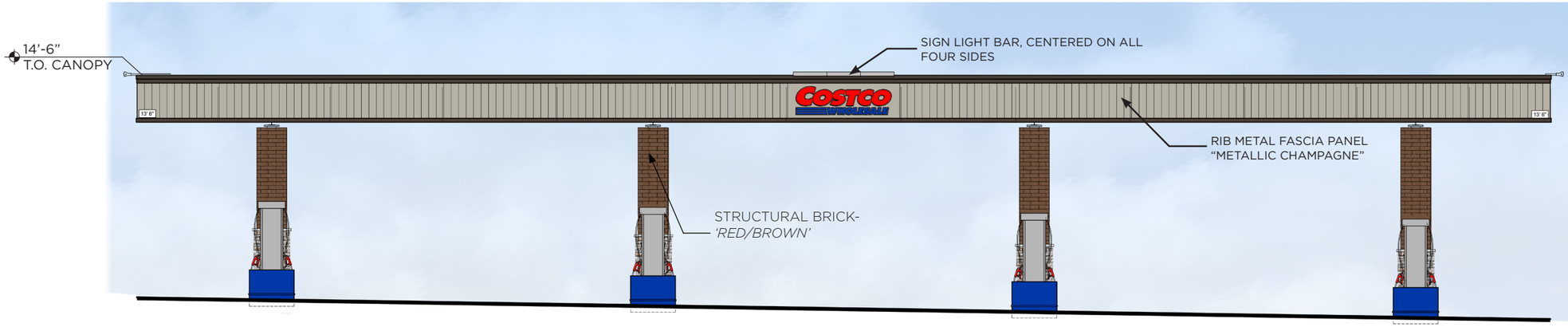
COSTCO WHOLESALE

PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

EXHIBIT H

FUEL FACILITY ELEVATIONS

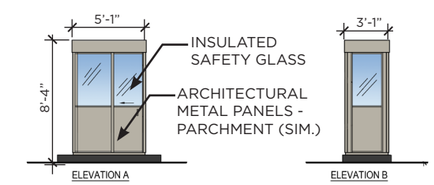


1 EAST & WEST ELEVATIONS
SCALE: 1/4" = 1'-0"

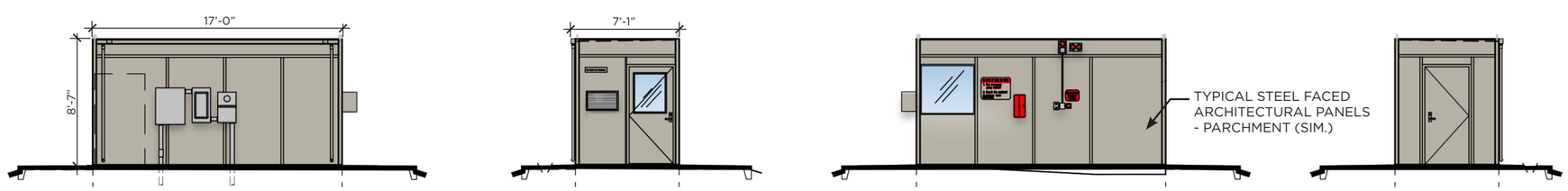
2 NORTH & SOUTH ELEVATIONS
SCALE: 1/4" = 1'-0"

SIGNAGE AREA TABULATION (WALL SIGNS)				
QTY	SIGN	SIZE	AREA (SF)EA	TOTAL SF
4	COSTCO WHOLESALE	2'-6" x 8'-7"	21 SF	84 SF
			TOTAL SIGNAGE AREA	84 SF

4 CANOPY SIGN
SCALE: 1/2" = 1'-0" (SUPPLIED AND INSTALLED BY CANOPY SUPPLIER)



5 WARMING HUT ELEVATIONS
SCALE: 1/4" = 1'-0"



MG2

JUNE 8, 2020
19-5367-01
VERONA, WI

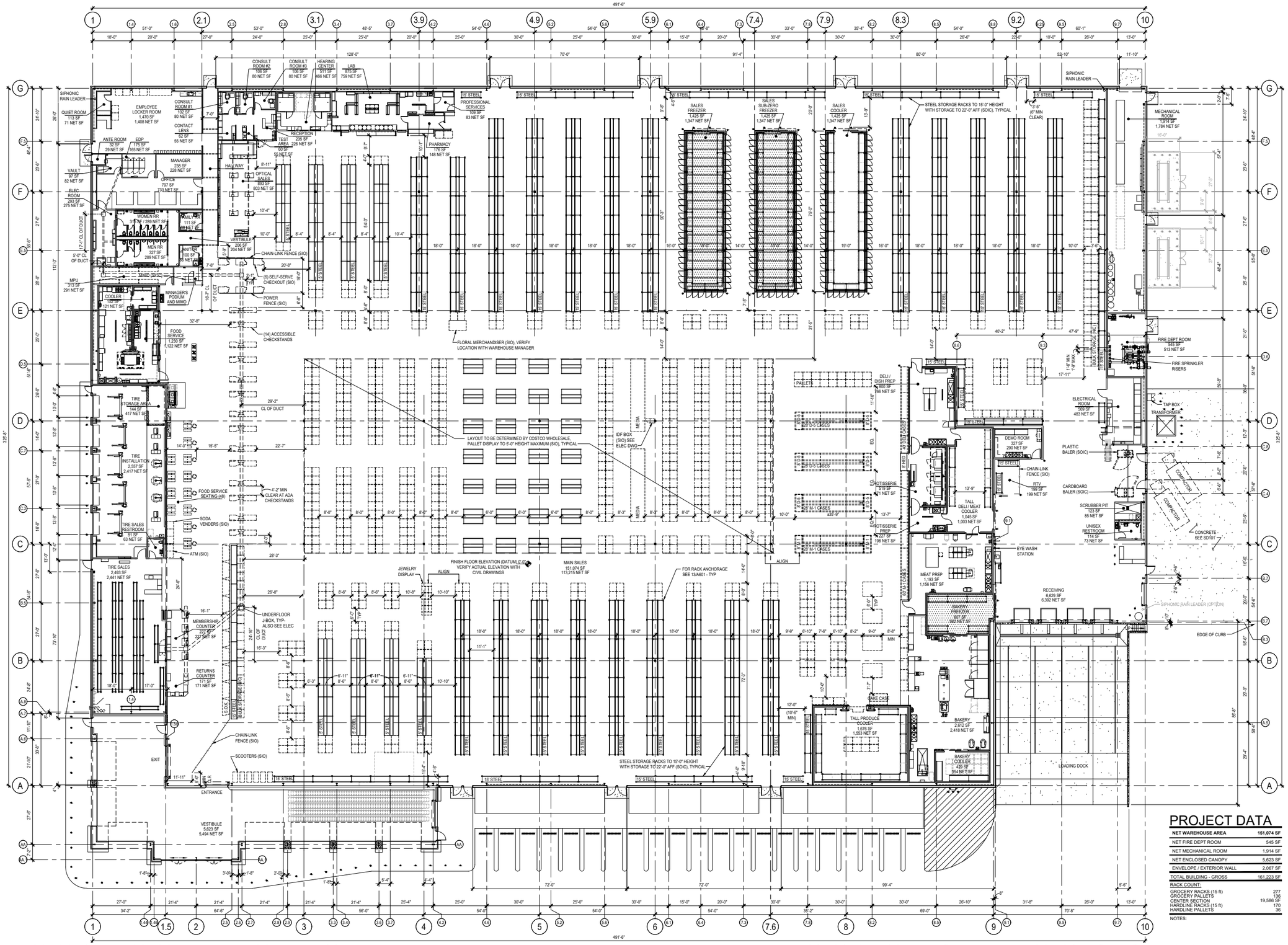
COSTCO WHOLESALE

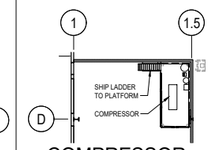
PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

EXHIBIT I

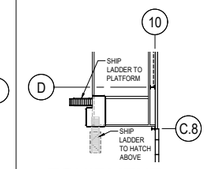
FLOORPLAN





COMPRESSOR PLATFORM

SCALE: 1/16" = 1'-0"



EQUIPMENT PLATFORM

SCALE: 1/16" = 1'-0"

0 8' 16' 32'

1/16" = 1'-0"

COSTCO WHOLESALE

VERONA, WI

MG2

PROJECT DATA

NET WAREHOUSE AREA	**151,074 SF**
NET FIRE DEPT ROOM	545 SF
NET MECHANICAL ROOM	1,914 SF
NET ENCLOSED CANOPY	5,623 SF
ENVELOPE / EXTERIOR WALL	2,067 SF
TOTAL BUILDING - GROSS	161,223 SF

RACK COUNT:

GROCERY RACKS (15 ft)	277
GROCERY PALLETS	136
CENTER SECTION	19,586 SF
HARDLINE RACKS (15 ft)	170
HARDLINE PALLETS	36

NOTES:

00-0000-01
MAY 19, 2020

CONCEPT FLOOR PLAN

DD21-01

COSTCO WHOLESALE

VERONA, WISCONSIN

CONCEPT FLOOR PLAN

MAY 19, 2020

PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

APPENDIX 1

OWNER AUTHORIZATION LETTER

Livesey Company
2248 Deming Way, Suite 200
Middleton, WI 53562
(608) 833-2929, (608) 824-9020 (Facsimile)

June 8, 2020

VIA EMAIL ONLY
Mr. Adam Sayre
City Administrator
City of Verona
111 Lincoln Street
Verona, WI 53593
adam.sayre@ci.verona.wi.us

Re: Anorev LLC Sale to Costco Wholesale Corporation

Dear Adam:

As you are aware, Anorev LLC, an affiliate of Livesey Company LLC, has entered into a contract to sell approximately 24 acres located in the "Verona Technology Park" to Costco Wholesale Corporation. In connection with that transaction, Costco has engaged Stephen J. Cross of Cross Engineering Associates, Inc. to perform certain services and to submit certain applications to the City of Verona, including an application to be submitted today, June 8, 2020.

By this letter, Anorev LLC hereby authorizes Mr. Cross and his firm to submit such applications. If you have any questions or comments, or need anything further from Anorev LLC in order to accept such submission, please let me know right away.

Very Truly Yours,

LIVESEY COMPANY LLC

John J. McEwan
Senior Vice President/General Counsel
(on behalf of Anorev LLC)

JJM/mad
cc: Stephen J. Cross (via Email Only ~ scross@crossengineering.net)

PROPOSED COSTCO WHOLESALE

VERONA TECHNOLOGY PARK, CITY OF VERONA, WI

APPENDIX 2

ABOUT COSTCO

About Costco

April 2020

Company Profile

Costco Wholesale Corporation operates an international chain of membership warehouses, mainly under the “Costco Wholesale” name, that carry quality, brand-name merchandise at lower prices than are typically found at conventional wholesale or retail sources. Warehouses are designed to help small- to medium-size businesses reduce costs in purchasing for resale and for everyday business use. Individuals may also purchase for their personal needs.

Costco warehouses present one of the largest product category selections to be found under a single roof. Categories include groceries, candy, appliances, electronics, automotive supplies, tires, toys, hardware, sporting goods, jewelry, watches, cameras, books, housewares, apparel, health and beauty aids, furniture, office supplies, and office equipment. Costco is known for carrying top quality national and regional brands, with 100% satisfaction guaranteed, at prices consistently below traditional wholesale or retail outlets.

Members also can shop for private label Kirkland Signature™ products, designed to be of equal or better quality than national brands, including juice, cookies, coffee, housewares, luggage, clothing and detergent. Additionally, Costco operates self-service gasoline stations at a number of its U.S. and Canadian locations.

Costco Wholesale Industries, a division of the Company, operates manufacturing businesses, including special food packaging, optical laboratories, meat processing and jewelry distribution. These businesses have a common goal of providing members with high quality products at a greater value.

According to Craig Jelinek, president, CEO and director, “Costco is able to offer lower prices and better values by eliminating virtually all the frills and costs historically associated with conventional wholesalers and retailers, including salespeople, fancy buildings, delivery, billing, and accounts receivable. We run a tight operation with extremely low overhead that enables us to pass on dramatic savings to our members.”

Founded in 1983

Costco Wholesale began operations in 1983 in Seattle. In October 1993, Costco merged with The Price Company, which pioneered the membership warehouse concept in 1976. In January 1997, after the spin-off of most of its non-warehouse assets to Price Enterprises, Inc., the Company changed its name to Costco Wholesale Corporation, which trades under the NASDAQ symbol “COST.”

Costco originated the warehouse club concept in 1976 and continues to be an industry leader in terms of service, quality, value and innovation. Costco has grown to become, in terms of sales, the second-largest Global retailer and the largest operator of membership clubs worldwide.

Company Mission Statement

Costco's mission is to continually provide our members with quality goods and services at the lowest possible prices. In order to achieve our mission we will conduct our business with the following Code of Ethics in mind:

1. Obey the law
2. Take care of our members
3. Take care of our employees
4. Respect our vendors

If we do these four things throughout our organization, then we will realize our ultimate goal, which is to **reward our shareholders.**

Costco Risk-Free 100% Satisfaction Guarantee

On Membership:
Costco will refund the membership fee in full at any time if a member is dissatisfied.

On Merchandise:
We guarantee satisfaction on every product we sell with a full refund. Product specific limitations apply. See Costco.com for details.

Worldwide Location Totals by Country

787 Warehouses (as of 4/15/20)

- 547 in U.S. (45 states) & Puerto Rico
- 100 in Canada (9 Canadian provinces)
- 39 in Mexico (18 states)
- 29 in the United Kingdom
- 26 in Japan
- 16 in South Korea
- 13 in Taiwan
- 12 in Australia
- 2 in Spain
- 1 in France
- 1 in Iceland
- 1 in China

Financial Performance FY '19

- Total Revenue $152.7 Billion
- Net Income $3.65 Billion
- Average Sales per Warehouse Worldwide $182 Million

Employment Facts

- 258,000 employees worldwide; 172,000 U.S. employees.
- U.S. – 91% benefits eligible (97% enrolled).
- Low turnover (U.S.) – 13% first year; 7% after one year
- Costco recruits primarily from the community in which it is located.
- Costco's objective is to hire promotable employees with enthusiasm and a desire to build a career.
- Costco pays among the highest wages in the industry. U.S. hourly wages:
  - Service Assistant $15.00 to $24.50 per hour
  - Service Clerk $15.50 to $26.20 per hour
  - Meat Cutters $15.50 to $27.70 per hour
  - Long-term employees are also eligible for extra checks of $5,000 to $8,000 per year.
  - A full-time cashier's annual salary after 6 years is $59,500.
- Costco provides a tremendous benefit package including medical, dental, vision, pharmacy, mental health, life insurance, disability, long term care, employee assistance program, flexible spending accounts, employee stock purchase program, 11 holidays per year, college student retention program, 401(k), and a free Costco membership with an annual 2% Reward.
- Part-time employees working more than 23 hours per week receive core medical, dental and vacation benefits after 6 months.
- Part-time employees are guaranteed 24 hours per week.
- Great opportunities for career advancement, Costco promotes from within.
- Strive for 50% full-time to part-time ratio.
- Costco employment grows as sales increase.
- Substantial disposable income generated within the community.

Membership Data

- 56 Million Households
- 102 Million Cardholders
- 52.8 Million Gold Star and Business Primary Members
- Renewal Rate: 90% (U.S. and CN)

Types of Membership:

- **Business Membership** is available to all licensed businesses, nonprofit organizations, government agencies, farmers and ranchers. The $60 annual membership fee includes a spouse card. Up to six additional Business Membership cards are available at $60 each, which includes a free Household card. Business identification (business license, resale certificate, or three pieces of business ID) is required when applying for a Business Membership. It is valid at any Costco worldwide.

- **Gold Star Membership** is available for individuals who do not qualify for a Business Membership. The Gold Star Membership is $60 per year, which includes a free Household card. It is valid at any Costco worldwide.

- **Executive Membership** is available to anyone who wants the benefits of a Costco Gold Star Membership with the added value of an Executive Membership. It adds savings by offering exclusive services and an annual 2%

Reward. Executive Members also receive additional benefits on select Costco Services, such as identity protection, check printing and more. Executive Members also receive a complimentary subscription to the *Costco Connection* – a lifestyle magazine. The upgrade fee is $60 for Gold Star and Business Members.

Why a Membership Fee?

Costco's operating philosophy is simple. We keep costs down and pass the savings on to our members. By charging a small annual membership fee, we are able to offset operating cost and price our merchandise even lower. We do not advertise and we do not have "sales." Our tremendous buying power combined with our never-ending quest for efficiency, results in the lowest possible prices on the items our members want most.

Merchandise Strategy

- Limited selection: 3,800 – 4,000 active SKU's
- Wide range of product categories
- Highest quality national brands
- Selected private label – Kirkland Signature™
  - High volume items – many in top 10
  - Ease of development not a factor
- Substantial price savings on all items
- Packaging innovation
- New products and services
- The Six Rights of Merchandising – the basis of Costco's merchandising philosophy and practices. It is emphasized in training at all levels.
  - The Right Merchandise
  - In the Right Place
  - At the Right Time
  - In the Right Quantity
  - In the Right Condition
  - At the Right Price

Specialty Departments and Services

- Fresh Produce
- Gourmet Deli & Rotisserie Chicken
- Fresh Meat
- Fresh Bakery
- Food Court
- Photo Center
- Auto Buying
- Pharmacy (also at Costco.com)
- Tire Center
- Optical Department/Independent Optometrist
- Hearing Aid Center
- Gas Station
- Travel Program
- Special Order Kiosk
- Costco.com

Typical Hours of Operation

- Warehouses
  - Monday – Friday 10:00 AM to 8:30 PM
  - Saturday 9:30 AM to 6:00 PM
  - Sunday 10:00 AM to 6:00 PM
- Gas Station hours vary

How does Costco benefit the city and community?

- Provides jobs
- Curbs Retail Leakage
- Generates property tax
- Involved in the community
- Local Services

What are examples of Costco's Community Involvement?

1% of pretax profit is designated annually for charitable organizations ($43 Million FY19).

- **Volunteer Reading Program**

Costco employees volunteer to help students in first through fourth grades improve their reading skills. Currently, there are over 466 programs across the United States and Canada, with more than 2,500 volunteers working one-on-one with students.

- **Children's Miracle Network Hospitals Campaign**

In 2019, Costco members and employees helped to raise more than $33 million for 114 Children's Miracle Network Hospitals across the U.S. and Canada.

- **United Way Campaign 2019-20**

All U.S. and Canada locations participated in raising over $23 million (including company match).

- **Other Donation Programs**
  - **New Eyes for the Need**y – Costco has partnered with New Eyes since 2012 to send members' used eyewear and hearing aids to those in need around the world.
  - **Feeding America** – food donation program. In FY 2019, Costco donated over 62 million pounds of food.
  - **Charity Backpack Program** – Since 1993, over 6.1 million backpacks have been donated to needy children across the U.S., Canada, Mexico, Taiwan, Korea, Japan, Puerto Rico, Australia, Spain, France, Iceland and the UK.
  - **Costco Scholarship Fund** - Since 2000, Costco has joined forces with the University of Washington and Seattle University to create scholarships for highly qualified underrepresented students who wish to attend these universities.
  - **World Vision** – Costco donates non-food items to people in need. In FY19, Costco donated $76M in merchandise.